



D.A. INSPECTIONS  
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## INSPECTION REPORT BY D.A. INSPECTIONS

1234 Main Street  
Rockford, IL 61101

Buyer Name  
05/22/2026 9:00AM



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Thank you for choosing D.A. Inspections. This report provides a detailed evaluation of the property's condition, highlighting key findings and important areas to consider. My goal is to deliver clear, accurate insights to help you make an informed decision about your home. If you have any questions or need further clarification, please don't hesitate to reach out. Call or text (815) 765-4324. Email [Dan@DA-inspections.com](mailto:Dan@DA-inspections.com).

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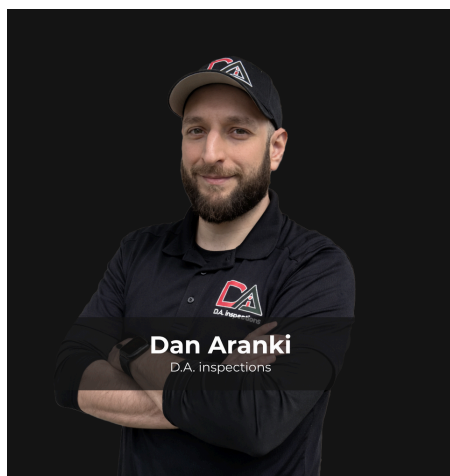
# 1: INSPECTION DETAIL

## Information

### Meet Your Inspector: Dan Aranki, CPI

I'm Dan Aranki, a Certified Professional Inspector (CPI)® with InterNACHI and a licensed home inspector in Illinois (#450.013334). My inspections are backed by full insurance and a commitment to professionalism. Each inspection is performed with a careful, detail-oriented approach to identify concerns and provide clear, reliable information. My goal is to give homebuyers, sellers, and real estate professionals the knowledge they need to make confident, well-informed decisions and to ensure every home is evaluated with safety and quality in mind.

Sincerely,  
Dan Aranki, CPI



### Meet Your Inspector: InterNACHI Qualifications



### How to Read Your Report: What is a Defect?

Home inspectors are trained to identify defects or potential issues that may affect the safety, function, or integrity of a property. To help clients better understand the significance of these findings, this report organizes observed issues into three main categories:

- 1. Minor Defects:** These are issues noted for awareness, but they typically do not pose a threat to health, safety, or the structure of the home. Minor defects may be cosmetic in nature, informational, or suggestive of potential future concerns. They are included in the report to keep clients informed but usually do not require urgent attention.
- 2. Defects:** These findings may impact safety, health, or the performance of a component or system. While not immediately hazardous, they represent conditions that should be taken seriously and addressed in a timely manner. Professional evaluation and correction are generally recommended.
- 3. Material Defects:** Material defects are significant issues that may pose an immediate safety risk or indicate the imminent failure of a critical system. These findings are prominently highlighted in the report, and appropriate parties should be notified as soon as possible. Prompt professional repair or replacement is strongly advised.

### How to Read Your Report: Why I'm Always on my Phone During an Inspection

You may notice me frequently using my phone during the inspection, rest assured, I'm not texting or distracted. My phone is one of the primary tools I use to document findings, capture detailed photos, and take notes in real-time using advanced inspection software.

Every defect or concern I observe is thoroughly photographed and documented to ensure nothing is missed. These photos are included in your inspection report to provide clarity and visual context, helping you better understand the condition of the home.

This process allows me to deliver accurate, high-quality reports, usually **within 24 hours**, while staying focused and efficient throughout the inspection.

### How to Read Your Report: A Home Inspection is Not a Code Inspection

Home inspections are not code inspections, and home inspectors are not code enforcement officials. While building codes help guide safety standards, most older homes were built under different codes and may not meet current requirements. This does not automatically mean the home is unsafe. The focus of a home inspection is to identify defects that affect safety, function, or long-term performance, not to enforce current building code.

### How to Read Your Report: Limitations of a Home Inspection

Home inspections are limited to what is visible and accessible. I do my best to find every defect using the tools available, but I can't see through walls or behind finished surfaces.

Some problems may be hidden or develop after the inspection. A system that works today might fail tomorrow. These limits are part of every non-invasive inspection.

The inspection was performed in general accordance with InterNACHI and applicable Illinois Department of Financial and Professional Regulation home inspection standards.

### General Inspection Info: In Attendance

Client, Client's Agent

Clients are encouraged to attend the inspection when possible. This allows time to discuss concerns, explain findings, and answer any questions directly on site.

#### General Inspection Info: Occupancy

Vacant

#### General Inspection Info: Type of Building

Single Family

#### General Inspection Info: Weather Conditions

Cloudy

#### General Inspection Info: Temperature (approximate)

59 Fahrenheit (F)

### General Inspection Info: Disclaimer - Older Homes (50+ Years)

Older homes often feature charm and craftsmanship but also have aging materials, outdated systems, and potential hidden issues. Electrical, plumbing, roofing, and structural components may be beyond their expected lifespan. Previous repairs may have used outdated methods or materials.

Ongoing monitoring, repairs, or replacements are common. These homes may also contain materials like lead paint or asbestos. Licensed contractors or specialists should evaluate all aged systems and concerns. Buyers should be prepared for immediate and long-term maintenance.

## 2: EXTERIOR

		IN	NI	NP	R
2.1	Wall Covering / Structure	X			
2.2	Openings (Windows & Doors)	X			
2.3	Exterior Systems (AC/Electrical)	X			
2.4	Grounds & Drainage	X			
2.5	Walkways and Access	X			
2.6	Decks / Porches / Railings	X			
2.7	Fences and Gates	X			
2.8	Hose Bibs / Exterior Faucets	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

### Information

#### Location of Main Gas Shut-Off Valve

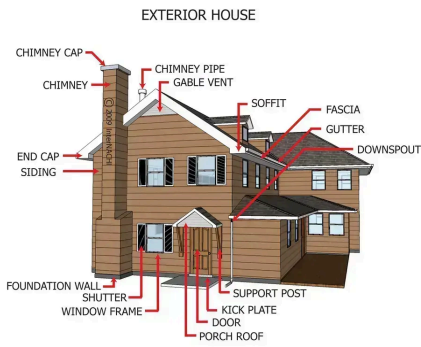
Side of House

The main gas shutoff valve was located at the exterior gas meter.



#### Exterior Was Inspected

A comprehensive visual inspection of the property's exterior was conducted to assess its overall condition, materials, and potential maintenance needs. The examination covered visible components like siding, trim, windows, doors, grading, and other exterior features to identify any significant issues or areas requiring attention.



### Wall Covering / Structure: Type of Wall-Covering Material Described

Vinyl, Aluminum, Composite

The exterior wall-covering material was identified to the best extent possible during the inspection. Like all exterior components, the wall cladding is subject to gradual deterioration from exposure to sun, wind, rain, and temperature fluctuations.

Homeowners should routinely monitor the exterior for signs of wear, damage, or moisture intrusion. Observing developing patterns of deterioration can help prevent more significant issues and preserve the structure's weathertightness.

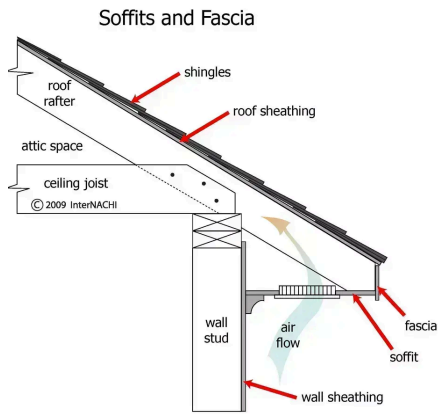
### Wall Covering / Structure: Wall Covering Materials Inspected

Exterior

Visible exterior wall covering materials were inspected. Inspection was limited to readily accessible and visible areas at the time of inspection.

### Wall Covering / Structure: Eaves, Soffits and Fascia Were Inspected

Eaves, soffits, and fascia are critical exterior architectural components that protect a home's roof structure and contribute to its aesthetic appeal. Eaves extend beyond the exterior walls, soffits are the underside of roof overhangs, and fascia are the vertical boards that run along the roof's lower edge, providing a finished look and supporting gutters.



### Openings (Windows & Doors): Exterior Doors Inspected

A representative number of exterior doors were inspected. The inspection included evaluation of the doors' operation and overall condition as observed at the time of inspection.



### Openings (Windows & Doors): Windows Inspected

A representative number of windows were inspected from the interior and ground level exterior. Inspection was limited to readily accessible and visible components.



## Exterior Systems (AC/Electrical): Manufacturer - AC Unit

Goodman

Most residential air-conditioning systems are relatively simple in design and operation. The adequacy of cooling is subjective and depends on factors such as air distribution, return-air vent locations, air velocity, and system sound. Annual inspection and servicing by a qualified HVAC professional are recommended to help maintain efficiency and performance. If the system is equipped with an air filter, the filter should be inspected regularly and replaced or cleaned as needed.



## Exterior Systems (AC/Electrical): Manufactured Date

2012

### Service Life Expectancy

According to InterNACHI, the typical service life of a central air-conditioning unit is approximately 7 to 15 years. Systems beyond this age may experience reduced efficiency, increased repair needs, and higher risk of failure. Regular maintenance and servicing are recommended to help extend service life. For more information, see: [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#)



## Exterior Systems (AC/Electrical): Exterior Electrical Service Components Inspected

Exterior

Visible exterior electrical service components were inspected, including the service drop, overhead conductors, attachment point, service head, and visible service mast or raceway components where present. Inspection was limited to visible and readily accessible components at the time of inspection.



### Exterior Systems (AC/Electrical): Electrical Meter and Base Inspected

The visible electrical meter and meter base were inspected. Inspection was limited to visible exterior components and did not include concealed wiring or utility-owned components.



### Grounds & Drainage: Vegetation, Drainage, Walls & Grading Were Inspected

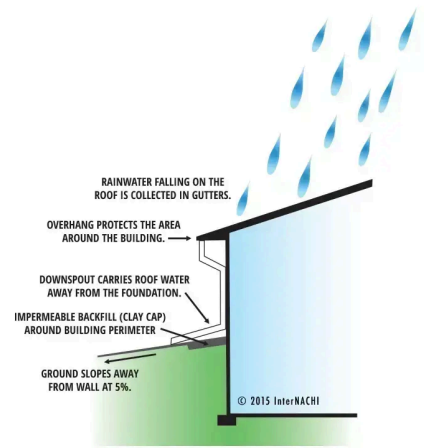
Vegetation, surface drainage, retaining walls, and grading were inspected where visible and accessible. These elements were evaluated for conditions that could adversely affect the structure due to moisture intrusion or related damage. Monitoring and maintaining proper clearance, drainage flow, and vegetation management are essential to help prevent water-related issues around the home's foundation.

### Grounds & Drainage: Gutters And Downspouts Were Inspected

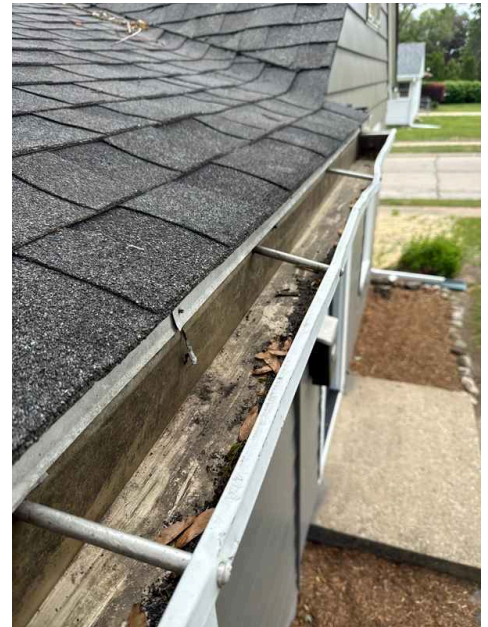
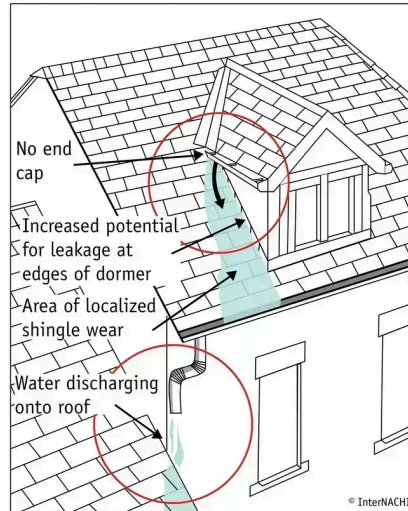
#### Roof

The gutters and downspouts were visually inspected from accessible locations. A complete inspection of every section was not possible. The general condition was assessed for signs of major defects.

It is recommended to monitor gutters during heavy rain (when safe) to ensure proper function. Gutters should capture rainwater and direct it toward downspouts that discharge at least 4 to 6 feet away from the house foundation to prevent water damage.

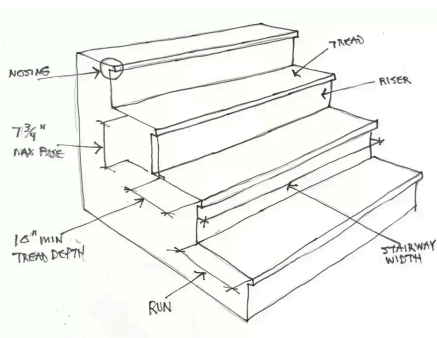


### Gutter Improperly Discharging onto Roof



### Walkways and Access: Exterior Stairs, Steps, Stoops, and Ramps Were Inspected

Exterior stairs, steps, stoops, stairways, and ramps are critical architectural elements that provide access and connectivity between different levels of a property. These structures can be constructed from various materials such as concrete, wood, metal, or stone, each with unique characteristics and maintenance requirements. Proper design and construction ensure safe vertical movement, accommodate grade changes, and contribute to the overall aesthetic and functional design of a residential property. Regular inspection and maintenance are essential to preserve structural integrity, prevent deterioration, and maintain safe passage for residents and visitors.



### Walkways and Access: Walkways & Driveways Were Inspected

Walkways and driveways were inspected visually and where accessible. Walkways and driveways are critical exterior hardscape elements that provide access, circulation, and aesthetic value to residential properties. These surfaces are typically constructed from materials like concrete, asphalt, pavers, brick, or gravel and serve functional transportation purposes while contributing to overall property landscaping. Proper installation, maintenance, and periodic inspection are essential for ensuring safe, durable, and visually appealing pedestrian and vehicular pathways around a home.



### **Decks / Porches / Railings: Porches, Patios, Decks, and Balconies Were Inspected**

The porches, patios, decks, and balconies at the property were inspected where accessible and visible. This inspection was not a code compliance inspection, but home inspectors may refer to code guidelines to help identify potential safety or performance concerns. Structures that are a few years old may not meet current code standards, and that's expected. The focus of the inspection is to identify visible defects or conditions that may impact safety, stability, or contribute to water intrusion.



### **Decks / Porches / Railings: Railings, Guards & Handrails Were Inspected**

Railings, guards, and handrails are essential safety components in residential structures, designed to prevent falls and provide support during movement between levels or along stairs. These architectural elements serve multiple purposes, including fall protection, structural support, and accessibility assistance. Proper installation, maintenance, and compliance with local building codes are critical for ensuring occupant safety and preventing potential injuries. Railings can be constructed from various materials such as wood, metal, glass, or composite materials, each offering different aesthetic and functional characteristics.



### Fences and Gates: Fences and Gates Observed

Fences and gates were visually observed as a courtesy where present. This is not part of the standard home inspection and was limited to a general observation of visible conditions.



### Hose Bibs / Exterior Faucets: Hose Bibs Inspected

Exterior hose bibs were inspected where present. Inspection included operation using normal controls and observation for visible leaks or defects.



### Hose Bibs / Exterior Faucets: Water Pressure (Static)

Not Measured

Static water pressure was measured at an exterior hose bib where accessible. Typical residential water pressure is often between approximately 40 and 60 PSI. This measurement is provided for general reference only and is not a substitute for a comprehensive plumbing evaluation.

## Limitations

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Wall Covering / Structure

### **INSPECTION WAS RESTRICTED**

During the standard residential inspection, access to the eaves, soffits, and fascia was restricted, preventing a comprehensive evaluation of these exterior components. Limited accessibility can prevent a thorough assessment of potential damage, deterioration, or maintenance issues that might exist in these critical areas.

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Openings (Windows & Doors)

### **INSPECTION RESTRICTED**

Inspection of windows was limited. A representative number were inspected; however, it is not possible to evaluate every window component during a standard home inspection. Windows located above the first floor or those otherwise inaccessible were not closely inspected. The inspection is not considered exhaustive.

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Exterior Systems (AC/Electrical)

### **GFCI RECEPTACLES AND ELECTRICAL - LIMITATIONS**

Not all electrical components or aspects of the GFCI system were inspected for full compliance with modern electrical codes. Comprehensive testing and verification are beyond the scope of a visual-only home inspection and should be performed by a licensed electrician or local building code inspector. The inspection was limited to what was visible and accessible, as defined by the Home Inspection Standards of Practice.

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## Exterior Systems (AC/Electrical)

**COOL TEMPERATURE RESTRICTION**

The cooling system was not operated because outdoor temperatures were too low to run the unit without risk of damage. This restricted the inspection of the system's performance. Information regarding past performance and maintenance should be obtained from the homeowner.

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## Grounds &amp; Drainage

**INSPECTION WAS RESTRICTED**

The inspection of vegetation, surface drainage, retaining walls, and grading was limited to visible and accessible areas only. Subsurface conditions are not visible and were not evaluated. Soil was not disturbed, and hidden conditions, such as excessive mulch buildup or improper subsurface grading, may exist. This was a visual, non-invasive inspection performed to the best of reasonable ability within the scope of a home inspection.

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## Grounds &amp; Drainage

**GUTTERS AND DOWNSPOUTS LIMITATION**

Not all gutter components and systems were accessible for close inspection. Some areas could not be fully evaluated due to limited access or safety concerns.



## Fences and Gates

**FENCES AND GATES LIMITATIONS**

Fences and gates are not part of the standard home inspection scope. Observation was limited to visible conditions at the time of inspection and did not include a full evaluation of property lines, ownership, structural stability, or security.

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Hose Bibs / Exterior Faucets

## UNABLE TO TEST PRESSURE

Static water pressure was not measured at the time of inspection. Measurement may be affected by site conditions or accessibility.

Hose Bibs / Exterior Faucets

## HOSE BIB LIMITATIONS

Inspection of exterior hose bibs was limited to visible and accessible components. Underground piping, concealed piping, and seasonal conditions were not fully evaluated.

## Recommendations

2.1.1 Wall Covering / Structure

 Minor Defect

### DAMAGED WALL-COVERING MATERIAL

**Minor damage to the exterior wall covering material was observed.** The condition appeared cosmetic in nature at the time of inspection and no significant indications of active water intrusion were observed in the affected area. Monitoring and repair as needed for cosmetic improvement and to help maintain the exterior surface is recommended.

Recommendation

Contact a qualified professional.



## 2.2.1 Openings (Windows &amp; Doors)

**MISSING STORM DOORS**

**Storm doors were not present at the front and side entry doors.** The installation of storm doors may help provide additional protection from weather exposure, improve energy efficiency, and reduce wear on the primary entry doors. Installation may be considered as a maintenance and improvement item.

## Recommendation

Contact a handyman or DIY project

## 2.3.1 Exterior Systems (AC/Electrical)

**OUTDATED R-22 REFRIGERANT IN AC UNIT**

**The air-conditioning system was observed to be using R-22 refrigerant,** which has been phased out due to environmental concerns. Since 2020, R-22 has no longer been produced, making repairs costly and refrigerant refills difficult to obtain. Replacement with a modern, energy-efficient system that uses environmentally friendly refrigerants, such as R-410A, should be anticipated.

## Recommendation

Contact a qualified HVAC professional.

## 2.3.2 Exterior Systems (AC/Electrical)

**NO EXTERIOR ELECTRICAL RECEPTACLES**

**No exterior electrical receptacles were observed at the time of inspection.** Exterior receptacles are commonly installed at the front and rear of homes for convenience and outdoor use. Installation of properly protected exterior receptacles by a qualified electrician may be considered as an improvement item.

## Recommendation

Contact a qualified electrical contractor.

2.5.1 Walkways and Access



**TRIP HAZARD AT STEP**

EXTERIOR

**A trip hazard was observed on the exterior steps during the inspection.** The uneven surface or height difference between steps creates a fall risk for anyone using the stairs. This condition could lead to potential injuries, especially for elderly individuals or those with mobility challenges. Professional evaluation and repair of the step surface or height discrepancy is recommended to ensure safe passage.

Recommendation

Contact a qualified general contractor.



## 2.5.2 Walkways and Access

**UNFINISHED DRIVEWAY SURFACE**

**The driveway surface consisted of loose rock/gravel and appeared unfinished at the time of inspection.** This condition is generally considered a cosmetic or convenience-related item but may require periodic maintenance to help manage surface displacement and rutting. Improvements or surface upgrades may be considered as desired.

## Recommendation

Contact a qualified professional.



# 3: ROOF

		IN	NI	NP	R
3.1	Roof Covering Materials	X			
3.2	Flashing	X			
3.3	Penetrations & Components	X			

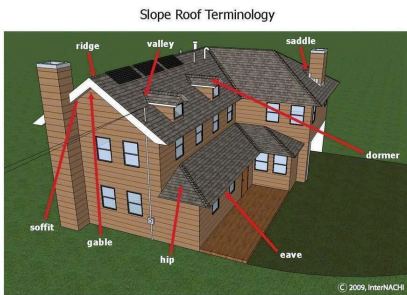
IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Roof System and Components

Roof

Any roof can leak. Roofs are designed to be watertight, not waterproof. Over time, all roofing materials and components will age, deteriorate, and require replacement.



### Roof Was Inspected

Roof

Ground, Ladder, Roof

The roof was inspected using various safe methods and vantage points. Every effort was made to perform a thorough inspection within safety limits.

Limitations such as weather, moss, steep slopes, and other conditions may prevent a complete evaluation. This inspection does not replace a specialized roofing professional's assessment.

Any observed defects should be evaluated and repaired by a qualified roofing contractor.

## Roof Covering Materials: Type of Roof-Covering

Roof

### Asphalt Shingle

The roof covering material was observed and its type identified when possible. Many styles, brands, and materials exist, each with specific installation requirements beyond the scope of this inspection.

This was a general, visual inspection only. Every effort was made using professional judgment to identify and report any defects.



## Roof Covering Materials: Roof Covering Materials Inspected

Exterior

Visible roof covering materials were inspected. Inspection was limited to visible and readily accessible roof surfaces at the time of inspection.

## Flashing: Flashing at the Roof System Inspected

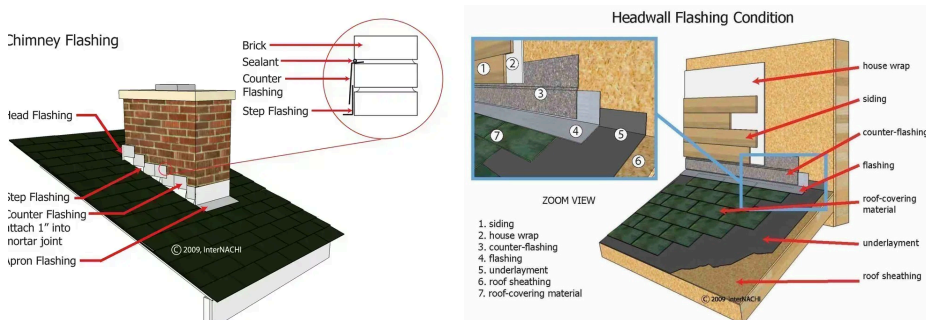
Roof

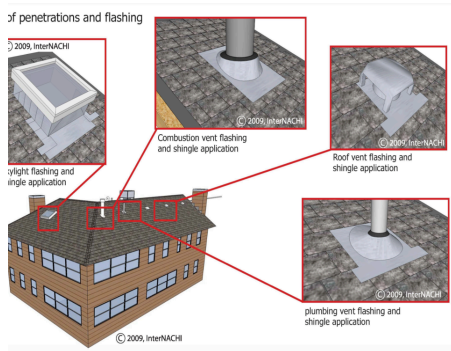
The flashing at the roof system was visually inspected from accessible and safe vantage points. This was a non-invasive, visual-only inspection, consistent with the scope of a standard home inspection. No roof-covering materials were lifted or removed, and no water tests were performed.

Flashing is typically installed in the following areas:

- Around roof penetrations such as vent pipes, chimneys, and skylights to help direct water away from vulnerable openings.
- At wall intersections where the roof meets a vertical surface. These areas typically include base flashing and counter flashing for proper protection.
- Along eaves and gable edges. Drip edge flashing helps direct water into the gutters and protects the roof sheathing from moisture intrusion.

Proper flashing is essential for managing water runoff and reducing the risk of leaks at roof transitions and penetrations.



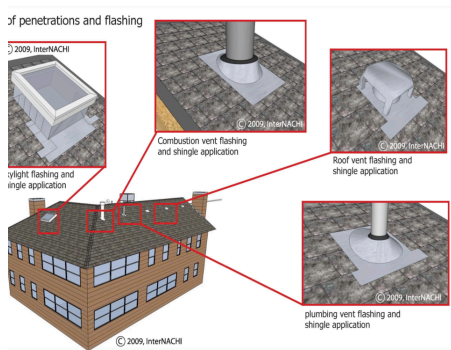


### Penetrations & Components: Roof Penetrations Inspected

#### Roof

Roof penetrations including vents, skylights, chimneys, and any other installed components were inspected from accessible locations. This was a visual inspection only. No water testing, pressure testing, or invasive methods were performed, as these are beyond the scope of a standard home inspection.

- DWV (drain, waste and vent) pipes are plumbing pipes that pass through the roof covering. There should be watertight flashing (often black rubber material) installed around the vent pipes. These plumbing vent pipes should extend far enough above the roof surface.
- Flue gas vent pipes pipes that carry flue gasses out of the building and pass through the roof covering. All gas-fired appliances must be connected to venting systems. There should be watertight metal flashing installed around the flue gas vent pipes. The vent pipes should extend far enough above the roof surface.
- Skylights are notoriously problematic and a common point of leaks. It is important to keep the area around the skylight free of debris and to monitor it for evidence of water leaks during heavy rains and/or winter snow melts.
- In general, all roof penetrations should be properly flashed and sealed, and should not allow any outside water into the home or below the roof covering material.



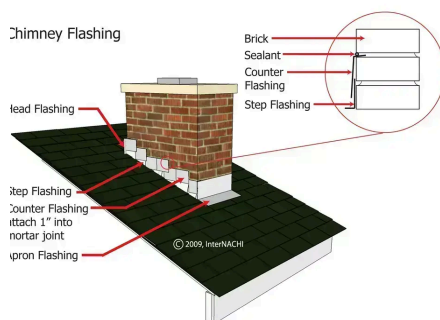
### Penetrations & Components: Masonry Chimney Exterior Was Inspected

The exterior of the masonry chimney was inspected. Masonry chimneys typically require ongoing maintenance due to their exposure to weather and environmental stress. Over time, cracks can develop in the mortar joints, increasing the potential for water intrusion. Moisture within the masonry can freeze and lead to surface deterioration (spalling). Chimney components such as rain caps and screens may become damaged, loose, or corroded. This was a visual-only inspection conducted to the best extent possible using the tools and access available at the time of inspection.



### Penetrations & Components: Masonry Chimney Flashing Was Inspected

The chimney flashing was inspected. Flashing is intended to divert water away from the areas where the chimney meets other components of the roof system. Proper flashing is critical to reducing the potential for moisture intrusion at these transition points.



### Penetrations & Components: Masonry Chimney Hood or Cap Installed

A hood or cap was observed at the masonry chimney. Masonry chimneys without hoods should have stone or reinforced concrete caps at the top. Some hoods are constructed of stone or concrete supported by short masonry columns, while others are made of sheet metal supported by metal posts. These features help prevent water intrusion and protect the flue opening.

## Limitations

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## General Roof System and Components Information

### **LIMITATIONS - ROOF INSPECTION**

#### ROOF

This was a visual, non-exhaustive inspection of the roof covering, penetrations, flashing, skylights, gutters, downspouts, and other accessible components deemed safe to access. It was not a detailed inspection of every installation detail or compliance with manufacturer specifications or building codes.

Many parts of the roof, such as underlayment, decking, fastening, and shingle quality, are not visible or accessible. Limitations including weather, steep or slippery surfaces may also restrict full evaluation.

Detecting leaks is generally only possible when actively occurring or through specialized water testing, which is beyond the scope of this inspection. All roofs age, deteriorate, and eventually leak. It is recommended to request seller disclosures regarding the roof and ensure adequate roof coverage in your insurance policy.

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#### Flashing

### **DIFFICULT TO SEE EVERY FLASHING**

The flashing at vent pipes, wall intersections, eaves, gables, and roof-covering materials was inspected to the extent visible and accessible. Flashing is typically installed where the roof covering meets other components, such as vent pipes or siding.

Most flashing is hidden beneath roofing materials and is not visible during a standard home inspection. Due to this, a complete evaluation of all flashing components is not possible. Home inspections are limited visual assessments and do not include destructive testing or removal of materials.

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#### Penetrations & Components

### **CHIMNEY INTERIOR IS BEYOND THE SCOPE**

Inspection of the chimney interior and flue is beyond the scope of a home inspection. A home inspection does not include the flue or vent system, interior chimney components, fire doors or screens, seals or gaskets, or mantels. As a courtesy, readily accessible and visible portions of the chimney flue may be observed, but this is not required.

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#### Penetrations & Components

### **ROOF VENT PIPE ACCESS - LIMITATION**

Not all roof vent pipes were accessible for close inspection. This limitation restricted a full evaluation of their installation and condition.

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#### Penetrations & Components

### **UNABLE TO REACH ALL THE FLUE GAS VENT PIPES**

Not all flue gas vent pipes penetrating the roof-covering materials were accessible for close inspection. This limitation restricted a complete evaluation of these components.

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## **Recommendations**

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## 3.1.1 Roof Covering Materials

**DISCOLORATION STAIN FROM ALGAE**

Minor Defect

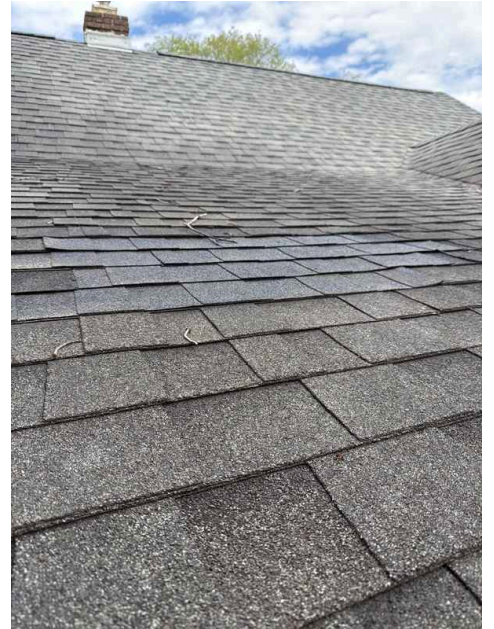
## ROOF

**Staining and discoloration were observed on the roof covering materials, likely caused by algae growth.** This growth appears as dark streaks and can spread under favorable conditions. Algae bonds tightly to shingles, making removal difficult without potential damage.

Prevention is the best approach. Some cleaners may lighten stains, but power-washing or heavy scrubbing can harm shingles and landscaping. Cleaning should be performed by a qualified professional due to safety risks and potential damage.

## Recommendation

Contact a qualified roofing professional.



# 4: DETACHED GARAGE

		IN	NI	NP	R
4.1	Garage Structure & Components	X			
4.2	Garage Door & Opener	X			X
4.3	Garage Electrical	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Detached Garage Information

A detached garage was present at the property. The structure was inspected where accessible. Components such as the structure, garage door, and visible electrical were evaluated at the time of inspection.



### Garage Structure & Components: Garage Ceiling and Walls Inspected

The ceiling and walls of the garage were inspected in accordance with the Home Inspection Standards of Practice. Readily visible surfaces were evaluated for signs of damage, deterioration, or safety concerns.



### Garage Structure & Components: Garage Floor Inspected

The floor of the garage was inspected for readily visible defects and safety concerns in accordance with the Home Inspection Standards of Practice. Garage floors are typically evaluated for surface condition, cracks, and proper slope to direct water toward the exterior vehicle door.

### Garage Door & Opener: Type of Door Operation

Opener

### Garage Door & Opener: Garage Vehicle Door Inspected

The garage vehicle door was inspected for operation and visible condition in accordance with the Home Inspection Standards of Practice. Visible door panels, operation type, and manual operation were reviewed where accessible.

### Garage Door & Opener: Garage Door Hardware Inspected

Garage

Visible garage door hardware was inspected, including springs, brackets, tracks, rollers, and the manual release handle where present. Inspection was limited to visible and readily accessible components.

### Garage Door & Opener: Garage Door Opener Controls Inspected

The garage door opener controls were inspected where present. Operation was checked using normal operating controls.

### Garage Door & Opener: Garage Door Safety Features Inspected

Garage door safety features were inspected where present, including photo-electric sensors, auto-reverse features, and visible warning labels. Inspection was limited to normal operating controls and visible safety components.

### Garage Electrical: Garage Electrical / GFCI Inspected

The electrical system in the garage was inspected. Readily accessible receptacles were tested, and ground-fault circuit interrupter (GFCI) protection was evaluated where present. **All garage receptacles are required to have GFCI protection for safety.** Visible electrical components were checked for proper installation and function.

## Recommendations

---

## 4.2.1 Garage Door &amp; Opener

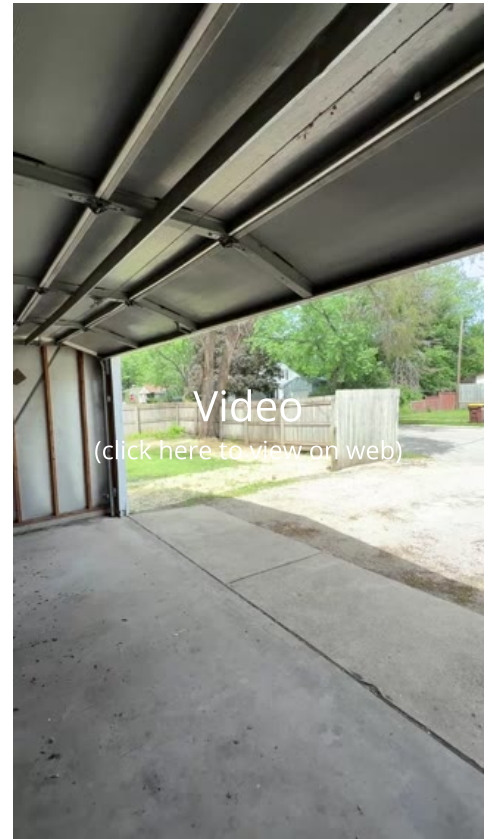
**DETACHED GARAGE DOOR OPERATION CONCERN**

**The detached garage overhead door opener activated at the time of inspection; however, the door appeared to bind or jam during closing and did not close normally under powered operation.**

Manual operation using the emergency release function was possible at the time of inspection. The condition may be related to track alignment, hardware adjustment, or another operational issue. Evaluation and repair by a qualified garage door contractor is recommended. See attached video.

Recommendation

Contact a qualified professional.



## 4.3.1 Garage Electrical

**MISSING GFCI PROTECTION IN GARAGE**

**A receptacle in the attached garage was observed without ground-fault circuit interrupter (GFCI) protection.** Current safety standards require GFCI protection for all 15- and 20-amp receptacles in garages, including outlets serving refrigerators, garage door openers, and washing machines. The absence of GFCI protection increases the risk of electrical shock. Installation of proper GFCI protection by a licensed electrician is recommended.

## Recommendation

Contact a qualified electrical contractor.



## 4.3.2 Garage Electrical



Defect

**OPEN GROUND/OPEN NEUTRAL CONDITION AT GARAGE RECEPTACLE**

**An open ground/open neutral condition was indicated at a garage electrical receptacle during testing at the time of inspection.** This condition may affect proper operation and safety of the receptacle and connected devices. Evaluation and repair by a qualified electrician is recommended.

Recommendation

Contact a qualified professional.



## 5: INTERIOR ROOMS INFO

### Information

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#### Interior Rooms Inspected: Interior Rooms Inspected

Visible and readily accessible interior room components were inspected, including floors, walls, ceilings, doors, windows, switches, light fixtures, receptacles, and smoke and carbon monoxide alarms where present. Cosmetic conditions were reported when significant, and functional concerns or safety hazards were reported as defects.



#### Interior Rooms Inspected: Inspected for Presence of Smoke and CO Detectors

The home was inspected for the presence of smoke and carbon monoxide detectors. Current safety standards recommend a smoke detector in every sleeping room, outside each sleeping area, and on every level of the home. The International Association of Fire Chiefs also recommends a carbon monoxide detector on every floor, including the basement, within 15 feet of each bedroom door, and near or above any attached garage.

#### Interior Rooms Inspected: Detector Life Expectancy and Maintenance

According to the InterNACHI Life Expectancy Chart, smoke and heat detectors typically have a service life of **less than 10 years**, while carbon monoxide detectors generally have a service life of about **5 years**. **Batteries in all detectors should be replaced at least annually**, or more often if recommended by the manufacturer. Replacement of aging detectors is advised to ensure continued reliability and safety.

### Limitations

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Interior Rooms Inspected

#### INTERIOR ROOMS LIMITATIONS

Furnishings, stored items, window coverings, floor coverings, personal belongings, and other obstructions may limit visibility of some interior components. Concealed areas and components not readily accessible at the time of inspection were not fully evaluated.

# 6: BEDROOM 1

		IN	NI	NP	R
6.1	Floors, Walls, and Ceilings	X			
6.2	Windows	X			
6.3	Doors	X			
6.4	Switches, Fixtures, and Receptacles	X			
6.5	Heat Source / Airflow	X			
6.6	Smoke and Carbon Monoxide Alarms	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.



**Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected**

Visible floors, walls, and ceilings were inspected.

**Windows: Windows Inspected**

Visible and readily accessible windows were inspected.

**Doors: Doors Inspected**

Visible and readily accessible doors were inspected.

**Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected**

Accessible switches, light fixtures, and receptacles were inspected.

**Heat Source / Airflow: Heat Source / Airflow Inspected**

Visible heat sources and airflow components were inspected where present.

**Smoke and Carbon Monoxide Alarms: Smoke and Carbon Monoxide Alarms Inspected**

Visible smoke and carbon monoxide alarms were inspected

where present.

## Recommendations

---

### 6.6.1 Smoke and Carbon Monoxide Alarms



#### **MISSING SMOKE DETECTOR**

**A smoke detector was not observed within a bedroom at the time of inspection.** Current safety standards commonly recommend smoke detectors **inside each sleeping room** in addition to hallway locations. Installation of a properly located smoke detector is recommended for improved occupant safety.

#### Recommendation

Contact a qualified professional.

# 7: BEDROOM 2

		IN	NI	NP	R
7.1	Floors, Walls, and Ceilings	X			
7.2	Windows	X			
7.3	Doors	X			
7.4	Switches, Fixtures, and Receptacles	X			
7.5	Heat Source / Airflow	X			
7.6	Smoke and Carbon Monoxide Alarms	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.



**Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected**

Visible floors, walls, and ceilings were inspected.

**Windows: Windows Inspected**

Visible and readily accessible windows were inspected.

**Doors: Doors Inspected**

Visible and readily accessible doors were inspected.

**Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected**

Accessible switches, light fixtures, and receptacles were inspected.

**Heat Source / Airflow: Heat Source / Airflow Inspected**

Visible heat sources and airflow components were inspected where present.

**Smoke and Carbon Monoxide Alarms: Smoke and Carbon Monoxide Alarms Inspected**

Visible smoke and carbon monoxide alarms were inspected

where present.

## Recommendations

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### 7.6.1 Smoke and Carbon Monoxide Alarms



#### **MISSING SMOKE DETECTOR**

**A smoke detector was not observed within a bedroom at the time of inspection.** Current safety standards commonly recommend smoke detectors **inside each sleeping room** in addition to hallway locations. Installation of a properly located smoke detector is recommended for improved occupant safety.

#### Recommendation

Contact a qualified professional.

# 8: BEDROOM 3

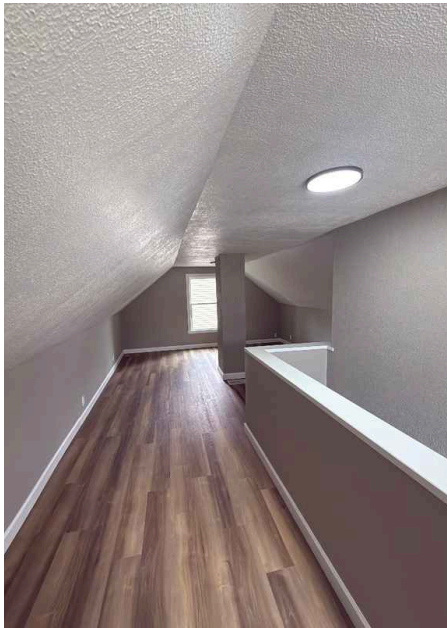
		IN	NI	NP	R
8.1	Floors, Walls, and Ceilings	X			
8.2	Windows	X			
8.3	Doors	X			
8.4	Switches, Fixtures, and Receptacles	X			
8.5	Heat Source / Airflow	X			
8.6	Smoke and Carbon Monoxide Alarms	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.



**Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected**

Visible floors, walls, and ceilings were inspected.

**Windows: Windows Inspected**

Visible and readily accessible windows were inspected.

**Doors: Doors Inspected**

Visible and readily accessible doors were inspected.

**Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected**

Accessible switches, light fixtures, and receptacles were inspected.

**Heat Source / Airflow: Heat Source / Airflow Inspected**

Visible heat sources and airflow components were inspected where present.

**Smoke and Carbon Monoxide Alarms: Smoke and Carbon Monoxide Alarms Inspected**

Visible smoke and carbon monoxide alarms were inspected

where present.

# 9: HALLWAYS

		IN	NI	NP	R
9.1	Floors, Walls, and Ceilings	X			
9.2	Windows	X			
9.3	Doors	X			
9.4	Switches, Fixtures, and Receptacles	X			
9.5	Interior Stairs, Steps, and Ramps	X			
9.6	Heat Source / Airflow	X			
9.7	Smoke and Carbon Monoxide Alarms	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.



**Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected**

Visible floors, walls, and ceilings were inspected.

**Windows: Windows Inspected**

Visible and readily accessible windows were inspected.

**Doors: Doors Inspected**

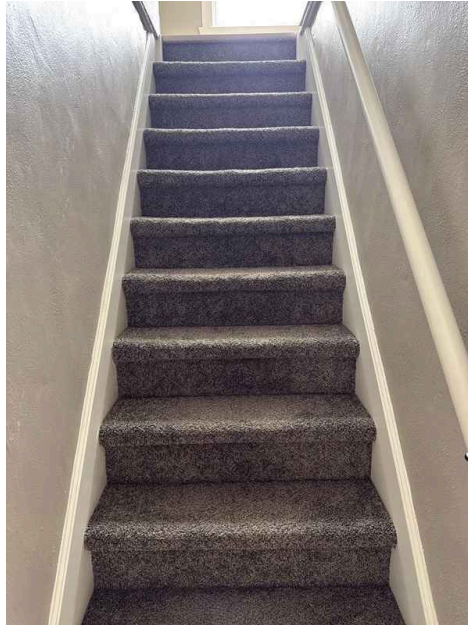
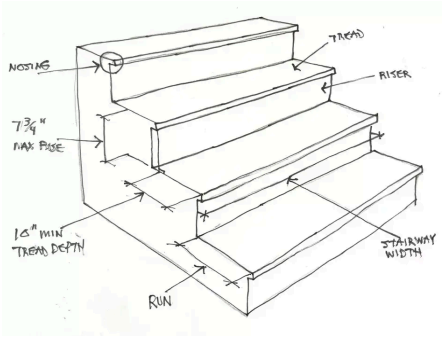
Visible and readily accessible doors were inspected.

**Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected**

Accessible switches, light fixtures, and receptacles were inspected.

**Interior Stairs, Steps, and Ramps: Interior Stairs, Steps, and Ramps Inspected**

Visible interior stairs, steps, and ramps were inspected where present. Inspection was limited to readily accessible components at the time of inspection.

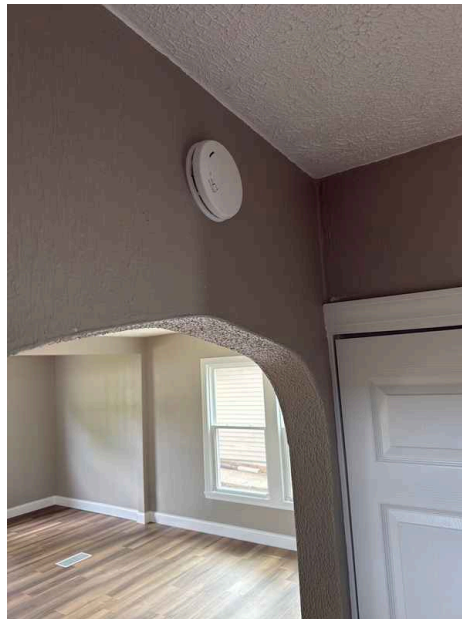


**Heat Source / Airflow: Heat Source / Airflow Inspected**

Visible heat sources and airflow components were inspected where present.

**Smoke and Carbon Monoxide Alarms: Smoke and Carbon Monoxide Alarms Inspected**

Visible smoke and carbon monoxide alarms were inspected where present.



# 10: LIVING ROOM

		IN	NI	NP	R
10.1	Floors, Walls, and Ceilings	X			
10.2	Windows	X			
10.3	Doors	X			
10.4	Switches, Fixtures, and Receptacles	X			
10.5	Heat Source / Airflow	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.



**Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected**

Visible floors, walls, and ceilings were inspected.

**Windows: Windows Inspected**

Visible and readily accessible windows were inspected.

**Doors: Doors Inspected**

Visible and readily accessible doors were inspected.

**Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected**

Accessible switches, light fixtures, and receptacles were inspected.

**Heat Source / Airflow: Heat Source / Airflow Inspected**

Visible heat sources and airflow components were inspected where present.



## Recommendations

### 10.3.1 Doors



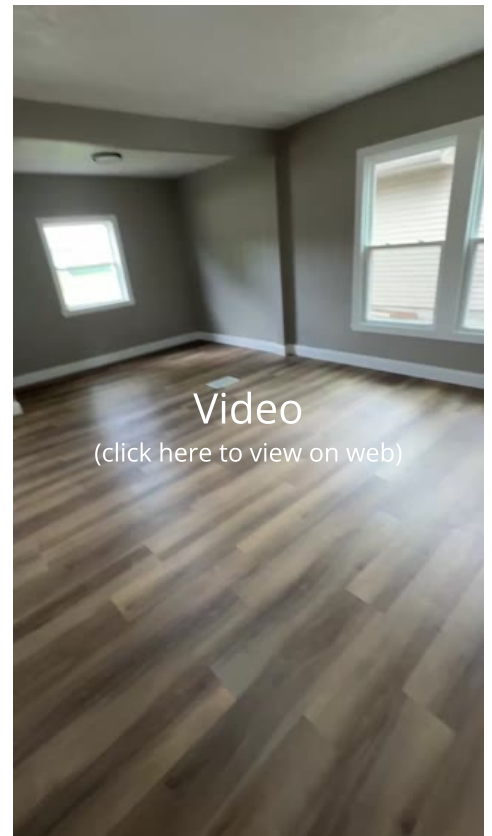
Minor Defect

#### **DOOR STICKING**

**A door was observed to stick during operation.** This condition is typically due to misalignment, swelling, or minor framing movement and does not significantly affect function. Adjustment or minor repair may be desired.

#### Recommendation

Contact a qualified handyman.



### 10.5.1 Heat Source / Airflow



Minor Defect

#### **IMPROPER VENT REGISTER INSTALLATION**

**Improper vent register types were observed at multiple HVAC air vents.** Registers with movable louvers were installed at return air locations, while fixed grilles were installed at supply air locations. This condition may reduce normal airflow adjustment and overall convenience. Replacement or correction of the vent registers may be considered for improved system function and usability.

# 11: DINING ROOM

		IN	NI	NP	R
11.1	Floors, Walls, and Ceilings	X			
11.2	Windows	X			
11.3	Doors	X			
11.4	Switches, Fixtures, and Receptacles	X			
11.5	Heat Source / Airflow	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.



**Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected**

Visible floors, walls, and ceilings were inspected.

**Windows: Windows Inspected**

Visible and readily accessible windows were inspected.

**Doors: Doors Inspected**

Visible and readily accessible doors were inspected.

**Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected**

Accessible switches, light fixtures, and receptacles were inspected.

**Heat Source / Airflow: Heat Source / Airflow Inspected**

Visible heat sources and airflow components were inspected where present.

# 12: BATHROOM INFO

## Information

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### Bathrooms Inspected

Visible and readily accessible bathroom components were inspected, including sinks, faucets, visible plumbing, toilets, tubs, showers, switches, light fixtures, receptacles, GFCI protection, exhaust fans, ventilation, floors, walls, ceilings, cabinets, doors, and windows where present. Fixtures were operated using normal operating controls where accessible. Functional concerns, water damage, leakage, safety concerns, or other visible defects were reported when observed.

## Limitations

---

General Bathroom Information

### **BATHROOM LIMITATIONS**

Inspection was limited to visible and readily accessible components at the time of inspection. Concealed plumbing, areas behind finished surfaces, areas below fixtures, and components obstructed by stored items, personal belongings, shower curtains, bath mats, cabinets, or other limitations were not fully evaluated.

# 13: BATHROOM 1

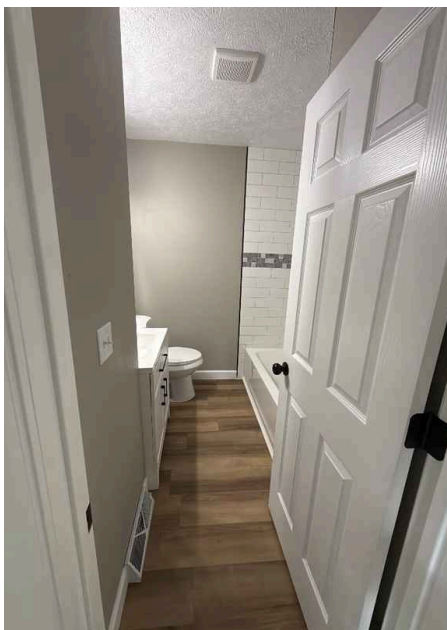
		IN	NI	NP	R
13.1	Sink, Faucet, and Plumbing	X			
13.2	Toilet	X			
13.3	Tub and Shower	X			
13.4	Switches, Fixtures, Receptacles, and GFCI Protection	X			
13.5	Exhaust Fan and Ventilation	X			
13.6	Floors, Walls, Ceilings, Cabinets, and Doors	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Bathroom Overview

This bathroom was inspected as part of the bathroom evaluation. A representative photo or location description may be included for identification when needed.



#### Sink, Faucet, and Plumbing: Sink, Faucet, and Plumbing Inspected

The bathroom sink, faucet, and visible plumbing components were inspected.

#### Toilet: Toilet Inspected

The toilet was inspected using normal operating controls.



### **Tub and Shower: Tub and Shower Inspected**

The tub and shower were inspected using normal operating controls where present.



### **Switches, Fixtures, Receptacles, and GFCI Protection: Switches, Fixtures, Receptacles, and GFCI Protection Inspected**

Accessible switches, light fixtures, receptacles, and GFCI protection were inspected.

**Exhaust Fan and Ventilation: Exhaust Fan and Ventilation Inspected**

The bathroom exhaust fan or ventilation components were inspected where present.

**Floors, Walls, Ceilings, Cabinets, and Doors: Floors, Walls, Ceilings, Cabinets, and Doors Inspected**

Visible bathroom floors, walls, ceilings, cabinets, and doors were inspected.

# 14: KITCHEN

		IN	NI	NP	R
14.1	Countertops and Cabinets	X			
14.2	Kitchen Sink and Plumbing	X			
14.3	Switches, Fixtures, Receptacles, and GFCI Protection	X			
14.4	Range, Oven, and Cooktop	X			
14.5	Exhaust Fan / Ventilation	X			
14.6	Refrigerator			X	
14.7	Built-in Microwave	X			
14.8	Floors, Walls, Ceilings	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Countertops and Cabinets: Countertops and Cabinets Inspected

Visible countertops and cabinets were inspected.



### Kitchen Sink and Plumbing: Kitchen Sink and Plumbing Inspected

Water was run at the kitchen sink to verify basic operation. This action was performed as a courtesy and is beyond the scope of a home inspection. The kitchen sink, faucet, and visible plumbing components were inspected.



### Switches, Fixtures, Receptacles, and GFCI Protection: Switches, Fixtures, Receptacles, and GFCI Protection Inspected

#### Kitchen

Accessible switches, light fixtures, receptacles, and GFCI protection were inspected.

Ground fault circuit interrupter (GFCI) protection were observed and tested in the kitchen. GFCI devices are designed to reduce the risk of electrical shock in wet areas, while arc fault circuit interrupter (AFCI) devices help protect against electrical fires by detecting arcing faults. Testing was performed using the device test button or a testing instrument.



### Range, Oven, and Cooktop: Range/Oven Manufacturer

Maytag



### Range, Oven, and Cooktop: Range and Oven Operation

#### Kitchen

The kitchen range and oven were briefly turned on to verify response to operator controls. This action was performed as a courtesy and is beyond the scope of a home inspection. A full cooking cycle was not conducted, and appliance performance under normal use was not evaluated.



### Exhaust Fan / Ventilation: Kitchen Exhaust Fan Inspection

The kitchen exhaust fan was inspected. All mechanical exhaust fans should terminate to the exterior of the home. Confirming proper termination is beyond the scope of a home inspection; however, as a courtesy, efforts were made to identify whether the fan exhausts outside.

In some cases, exhaust fans and over-range microwave exhaust systems are configured to recirculate air back into the kitchen rather than vent outside. These systems rely on filters that should be cleaned or replaced regularly to maintain performance. The fan or microwave exhaust was briefly turned on to verify operation, and the condition of accessible filters was observed where possible.



**Refrigerator: Manufacturer**  
N/A

**Built-in Microwave: Manufacturer**  
Maytag



### **Built-in Microwave: Microwave Operation Check**

The built-in microwave was briefly turned on to verify response to operator controls. No further inspection or testing was performed, as microwave ovens are beyond the scope of a home inspection.

### **Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected**

Visible kitchen floors, walls, and ceilings were inspected.

## **Limitations**

---

Countertops and Cabinets

### **CABINETS AND COUNTERTOPS INSPECTION LIMITATION**

Inspection of cabinets and countertops was limited to a representative number of surfaces. Stored items and personal belongings restricted visibility and prevented a complete evaluation of all areas.

Switches, Fixtures, Receptacles, and GFCI Protection

### **GFCI/AFCI KITCHEN RECEPTACLES LIMITATION**

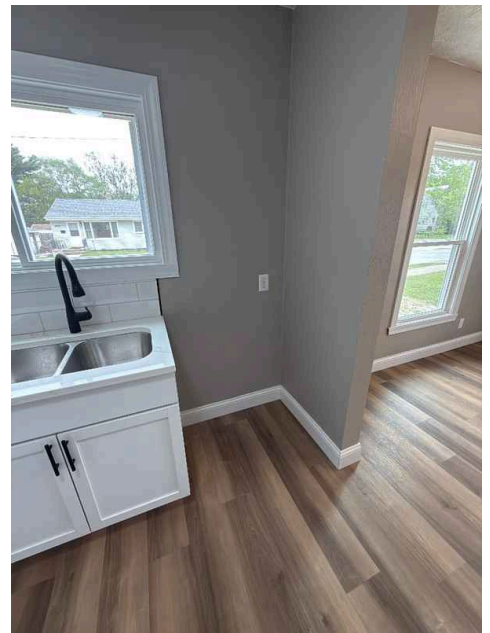
KITCHEN

Not all kitchen receptacles were inspected or tested for GFCI or AFCI protection, as testing every receptacle is beyond the scope of a home inspection. Instead, a representative number of receptacles were inspected.

Refrigerator

### **REFRIGERATOR NOT INSTALLED**

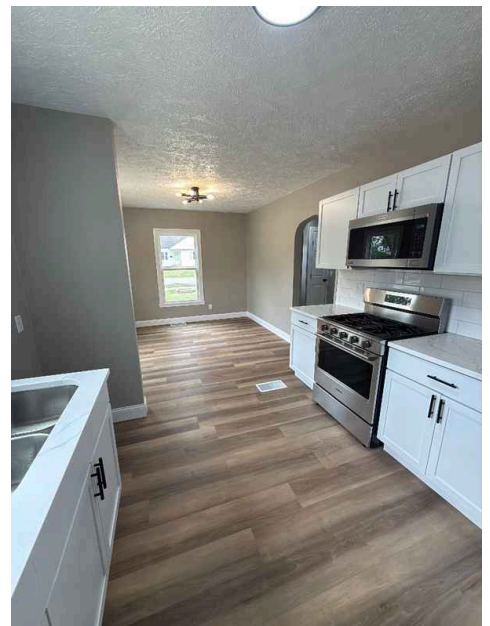
A refrigerator was not installed at the time of inspection. This is a limitation to the inspection, as no evaluation of this appliance could be performed.



Floors, Walls, Ceilings

### **FLOORS, WALLS, AND CEILINGS INSPECTION LIMITATION**

Inspection of floors, walls, and ceilings was limited to readily visible surfaces. Conditions behind wall coverings, under flooring, beneath carpets, or obstructed by furnishings and stored items could not be inspected.



# 15: LAUNDRY

		IN	NI	NP	R
15.1	Laundry Room, Electrical, and Utility Sink			X	
15.2	Clothes Washer			X	
15.3	Clothes Dryer			X	

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Laundry Room, Electrical, and Utility Sink: Laundry Room, Electrical, and Utility Sink Inspected

Visible laundry room components were inspected, including accessible receptacles, switches, light fixtures, and the utility sink where present.

### Clothes Washer: Manufacturer

N/A

### Clothes Washer: Manufactured Date

N/A

#### Service Life Expectancy

According to InterNACHI, the typical service life of a clothes washer is approximately **5 to 15 years**. Units beyond this age may experience reduced efficiency, increased repair needs, and a higher risk of failure. Regular maintenance is recommended to prolong service life. For more information, see: [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#)

### Clothes Dryer: Manufacturer

N/A

### Clothes Dryer: Manufactured Date

N/A

#### Service Life Expectancy

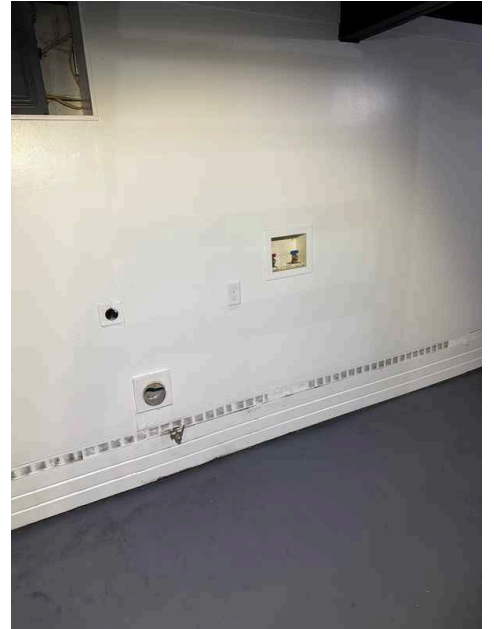
According to InterNACHI, the typical service life of a clothes dryer is approximately **13 years**. Units beyond this age may experience reduced efficiency, increased repair needs, and a higher risk of failure. Regular maintenance is recommended to prolong service life. For more information, see: [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#)

## Limitations

Laundry Room, Electrical, and Utility Sink

## LAUNDRY ROOM LIMITATIONS

Inspection of the laundry area was limited to visible and readily accessible components. Appliances, concealed wiring, plumbing behind walls, and areas obstructed by stored items or equipment were not fully evaluated.



Clothes Washer

## CLOTHES WASHER NOT OPERATED

not present

The clothes washer was not operated during the inspection. Operation of laundry appliances is beyond the scope of a home inspection, although they may occasionally be tested as a courtesy. No determination of functionality was made at this inspection.

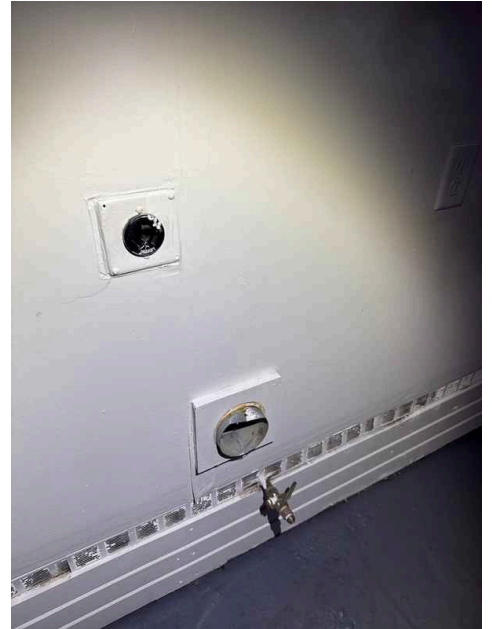


Clothes Dryer

### **CLOTHES WASHER NOT OPERATED**

not present

The clothes washer was not operated during the inspection. Operation of laundry appliances is beyond the scope of a home inspection, although they may occasionally be tested as a courtesy. No determination of functionality was made at this inspection.



Clothes Dryer

### **LIMITATION CLOTHES DRYER EXHAUST DUCT**

The interior of the clothes dryer exhaust duct could not be fully inspected. This was a limited visual inspection and does not determine internal condition or cleanliness. Exhaust ducts should be professionally cleaned at least annually to reduce the risk of fire. Cleaning of the duct prior to regular use is recommended.

# 16: BASEMENT / CRAWLSPACE / STRUCTURE

		IN	NI	NP	R
16.1	Foundation	X			
16.2	Visible Structural Components	X			
16.3	Moisture / Water Intrusion	X			
16.4	Sump Pump			X	
16.5	Basement Electrical / GFCI Protection	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Basement / Crawlspace / Structure Overview

The basement, crawlspace, and visible structural components were inspected where accessible. Inspection included observation of the foundation, floor structure, wall structure, support components, and visible conditions at the time of inspection.



### Foundation: Type of Foundation Described

Basement, Masonry Block

The foundation type and construction materials were identified to the extent possible. Some homes may have multiple foundation types due to renovations, additions, or modifications.



### Foundation: Foundation Was Inspected

The foundation was inspected according to the [Home Inspection Standards of Practice](#).

### Visible Structural Components: Structural Components Were Inspected

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.



### Moisture / Water Intrusion: Moisture / Water Intrusion Indicators Inspected

Visible basement or crawlspace areas were inspected for moisture staining, dampness, efflorescence, and other visible indicators of water intrusion.

### Moisture / Water Intrusion: Dehumidifier Recommended

**The absence of a dehumidifier was observed in an unconditioned, unvented space.** Such environments are prone to excess moisture and potential mold growth. Installation of a dehumidifier is recommended. Further evaluation by a qualified HVAC or crawlspace professional is advised to assess ventilation and moisture control needs.

### Basement Electrical / GFCI Protection: Basement Electrical / GFCI Protection Inspected

Accessible basement receptacles, visible electrical components, and GFCI protection were inspected where present. Inspection was limited to visible and readily accessible components.

## Limitations

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Basement / Crawlspace / Structure Overview

### BASEMENT FINISHED

The basement was finished. This condition limited the inspection, as the finished floors, walls, and ceilings restricted visibility of the basement structure, systems, and components.

Moisture / Water Intrusion

### LIMITED VISIBILITY OF MOISTURE CONDITIONS

Evaluation for moisture conditions was limited by finished surfaces, stored items, floor coverings, wall coverings, or other obstructions. Concealed areas were not fully visible at the time of inspection.

## Recommendations

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## 16.2.1 Visible Structural Components

**PREVIOUSLY ALTERED FLOOR JOIST WITH ADDED SUPPORT**

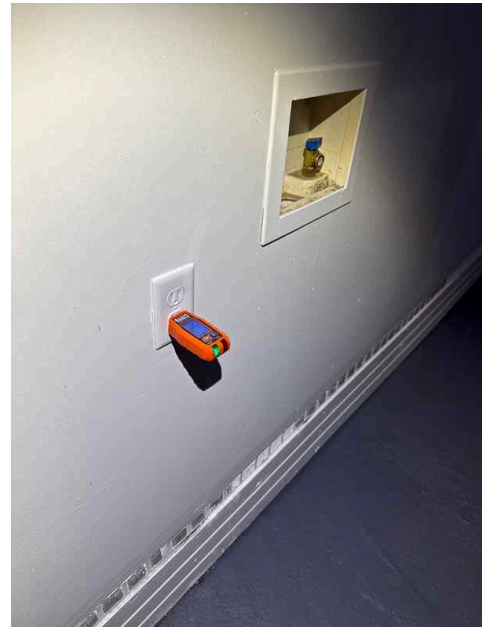
**A floor joist appeared to have been previously cut or altered at the time of inspection.** Additional support framing had been installed in the affected area, and no significant movement or distress was observed at the time of inspection. The repair method appeared functional; however, concealed conditions cannot be determined during a visual inspection. Monitoring and further evaluation by a qualified contractor may be considered if concerns develop.



## 16.5.1 Basement Electrical / GFCI Protection

**BASEMENT RECEPTACLES NOT GFCI PROTECTED**

**Ground-fault circuit interrupter (GFCI) protection was not observed at basement electrical receptacles at the time of inspection.** Modern safety standards commonly recommend GFCI protection in basement areas to reduce the risk of electrical shock. Upgrading affected receptacles to GFCI protection by a qualified electrician is recommended as a safety improvement.



# 17: PLUMBING

		IN	NI	NP	R
17.1	Water Heater	X			
17.2	Water Supply Piping and Distribution	X			
17.3	Drain, Waste, & Vent Systems	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Location of Main Water Shut-Off Valve

Basement



### Water Supply - Private or Public

Public

The water supply source was identified based on observed conditions at the time of inspection. To confirm the source with certainty, verification with the homeowner or local utility provider is recommended.

### Plumbing System Information

The plumbing system components were inspected where visible and readily accessible. This included visible water supply piping, drain, waste, and vent systems, and the water heater where present. Fixtures and components were operated using normal operating controls where accessible.

### Water Heater: Type of Hot Water Source

Gas-Fired Tank Water Heater (Natural Gas / Propane)

The primary source of hot water to the plumbing fixtures was inspected. Water heating systems may include electric or gas-fired tank units, indirect heaters connected to boilers, tankless systems, heat pump water heaters, solar systems, or geothermal equipment. Verification of the system type, age, and past performance should be obtained from the homeowner. Regular maintenance is recommended to ensure safe and reliable operation.

### Water Heater: Manufacturer

Rheem

The manufacturer of the water heater was identified. Annual flushing and servicing of the tank are recommended to maintain optimal performance and extend service life. **Water temperature should be set to at least 120°F to reduce**

the risk of microbial growth and no higher than 130°F to minimize the risk of scalding.

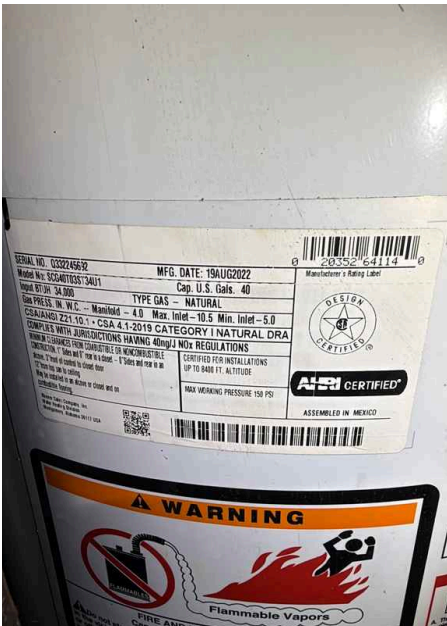


### Water Heater: Manufactured Date

2022

#### Service Life Expectancy

The manufacture date of the water heater was identified. The typical service life of a conventional tank-style water heater is approximately 6 to 12 years. Systems beyond this age may experience reduced efficiency, increased repair needs, and higher risk of failure. Regular maintenance and servicing are recommended to help extend service life. For more information, see [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#).



### Water Heater: Capacity

40 gallons

### Water Heater: Water Heater Inspected

The hot water source and associated equipment were inspected in accordance with the Home Inspection Standards of Practice. The inspection was limited to visible and accessible components observed at the time of inspection.

### Water Heater: Venting Connections Inspected

The venting connections for the water heating system were inspected. The inspection was limited to visible and accessible components observed at the time of inspection.

### Water Heater: Temperature and Pressure Relief (TPR) Valve Inspected

The temperature and pressure relief (TPR) valve was inspected. The inspection was limited to visible and accessible components observed at the time of inspection.

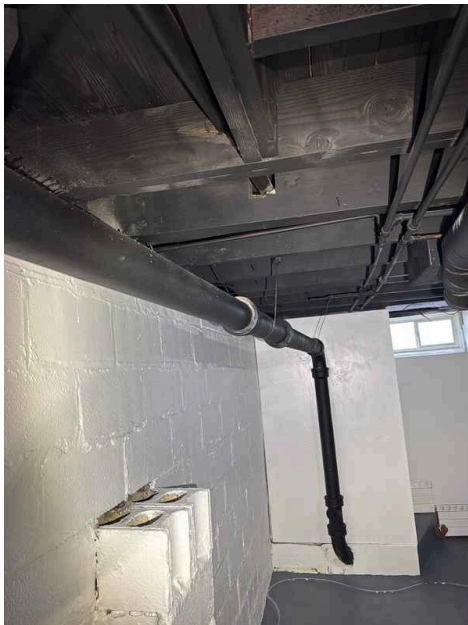
### **Water Supply Piping and Distribution: Water Supply Piping and Distribution Inspected**

The water supply and distribution piping was inspected where accessible. Portions of the system were not visible due to obstructions or finished surfaces, which limited the inspection. Verification of past performance, including any history of supply problems or leaks, should be obtained from the homeowner.



### **Drain, Waste, & Vent Systems: Drain, Waste, Vent Pipes Inspected**

The drain, waste, and vent (DWV) piping was inspected where accessible. Portions of the system were not visible due to finished surfaces or other obstructions, which limited the inspection. Confirmation of past performance, including any history of leaks or blockages, should be obtained from the homeowner.



## **Limitations**

## Water Heater

**INSPECTION RESTRICTION**

The inspection of the water heating system was restricted, and the system could not be fully evaluated. The condition of components not visible or accessible at the time of inspection is unknown.

## Water Supply Piping and Distribution

**NOT ALL PIPES WERE INSPECTED**

The inspection of the water supply piping was restricted because not all pipes were exposed or readily accessible. Many distribution pipes, valves, and connections are typically concealed within walls, ceilings, or floors and could not be evaluated. The condition of hidden piping is unknown.

## Drain, Waste, &amp; Vent Systems

**NOT ALL PIPES WERE INSPECTED**

The inspection of the drain, waste, and vent (DWV) pipes was restricted because not all piping was exposed or readily accessible. Many drainage components are typically concealed within walls, ceilings, or floors and could not be evaluated. The condition of hidden piping is unknown.

**Recommendations**

## 17.1.1 Water Heater

**TPR DISCHARGE PIPE DOES NOT TERMINATE AT PROPER DRAIN LOCATION**

The temperature and pressure relief (TPR) valve discharge pipe did not terminate at an appropriate drain or discharge location at the time of inspection. Improper termination may allow water discharge in a manner that could cause damage or create a safety concern if the valve activates. Correction by a qualified plumbing contractor is recommended.

## Recommendation

Contact a qualified plumbing contractor.



# 18: ELECTRICAL

		IN	NI	NP	R
18.1	Service-Entrance Conductors	X			
18.2	Main Service Disconnect	X			
18.3	Panelboards and Breakers	X			X
18.4	Branch Wiring	X			
18.5	Grounding and Bonding	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

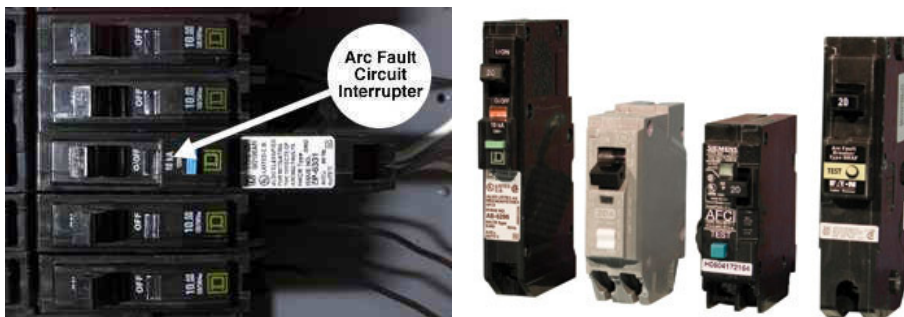
## Information

### Electrical System Information

The electrical system components were inspected where visible and readily accessible. This included the service equipment, panels, visible wiring, and grounding components. Inspection was limited to visible conditions and normal operating controls.

### AFCI Information

An Arc Fault Circuit Interrupter (AFCI) is designed to protect against electrical fires by detecting arcing conditions in wiring and shutting off power to the circuit. AFCI breakers are a relatively recent safety requirement in new construction homes, and many older homes do not have this protection. While a home inspection is not a code compliance inspection, it is important to note that codes and standards evolve for safety reasons. The absence of AFCI protection in a home should be considered a safety concern, and installation of AFCI protection by a licensed electrician is recommended where missing.



### GFCI Information

A Ground Fault Circuit Interrupter (GFCI) is designed to protect against electrical shock by shutting off power when a ground fault is detected. GFCI protection became a requirement in certain areas beginning in the 1970s, and many older homes may not have this safety feature installed. While a home inspection is not a code compliance inspection, it is important to note that safety standards evolve over time. The absence of GFCI protection in required areas is considered a safety concern. Installation of GFCI protection by a licensed electrician is recommended where missing.

### Service-Entrance Conductors: Service-Entrance Conductors Inspected

The electrical service-entrance conductors were inspected where visible and accessible. The inspection was limited to observable conditions at the time of inspection.



### Main Service Disconnect: Main Service Disconnect Inspected

The electrical main service disconnect was inspected where visible and accessible. The inspection was limited to observable conditions at the time of inspection.



### Main Service Disconnect: Main Disconnect Rating, If Labeled

100

The amperage rating of the main service disconnect was observed as labeled. This information is based on the manufacturer's labeling visible at the time of inspection.

### Panelboards and Breakers: Main Panelboard and Breakers Inspected

The electrical panelboards and breakers were inspected where accessible. Inspection included visible components, overcurrent protection devices, and evaluation of AFCI and GFCI protection where present.

**Branch Wiring: Branch Wiring Inspected**

Visible branch wiring was inspected where accessible. Inspection was limited to visible wiring and readily accessible components at the time of inspection.

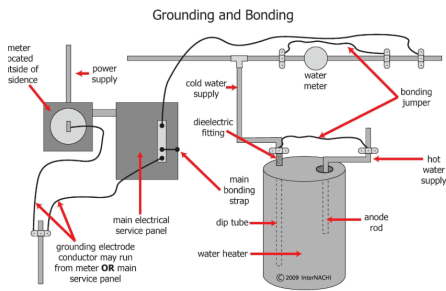
**Branch Wiring: Type of Wiring, If Visible**

NM-B (Romex)



## Grounding and Bonding: Service Grounding and Bonding Inspected

The electrical service grounding and bonding were inspected where visible and accessible. The inspection was limited to observable conditions at the time of inspection. Proper grounding and bonding are important for electrical safety, as they help reduce shock hazards and allow the system to safely carry fault currents.



## Limitations

### Panelboards and Breakers

#### **GFCI SYSTEM NOT FULLY INSPECTED**

The GFCI system could not be fully inspected, and compliance with modern code requirements could not be confirmed. Verification of proper installation requires specialized testing that is beyond the scope of a visual home inspection. The system was inspected to the extent possible in accordance with the Home Inspection Standards of Practice. Evaluation by a licensed electrician or local code official is recommended if confirmation is desired.

### Panelboards and Breakers

#### **UNABLE TO INSPECT EVERYTHING**

The AFCI system could not be fully inspected, and compliance with modern code requirements could not be confirmed. Verification of proper installation requires specialized testing that is beyond the scope of a visual home inspection. The system was inspected to the extent possible in accordance with the Home Inspection Standards of Practice. Evaluation by a licensed electrician or local code official is recommended if confirmation is desired.

### Panelboards and Breakers

#### **PANELBOARDS AND BREAKERS NOT FULLY INSPECTED**

The inspection of the panelboards, breakers, and related components was limited to a visual-only evaluation. A close inspection of all internal connections and components was not performed, as this is beyond the scope of a home inspection. The electrical system was inspected in accordance with the Home Inspection Standards of Practice to the extent possible.

## Panelboards and Breakers

### **BREAKER(S) IN OFF POSITION**

A breaker was observed in the "off" position prior to inspection of the electrical panel. The connected circuit could not be evaluated as a result. The homeowner should be asked what this breaker serves and why it was off at the time of inspection.



## Branch Wiring

### **ELECTRICAL WIRING NOT FULLY INSPECTED**

**The electrical wiring could not be fully inspected**, as most wiring is concealed within walls, ceilings, and floors. Hidden wiring is beyond the scope of a visual home inspection, and its condition could not be determined.

## Grounding and Bonding

### **UNABLE TO CONFIRM PROPER GROUNDING AND BONDING**

The proper installation of the electrical system grounding and bonding, as required by modern standards, could not be confirmed during the inspection. Verification of grounding and bonding requires specialized testing that is beyond the scope of a visual home inspection. The grounding and bonding were inspected to the extent possible in accordance with the Home Inspection Standards of Practice. Evaluation by a licensed electrician or local code official is recommended if confirmation is desired.

## **Recommendations**

## 18.3.1 Panelboards and Breakers

**OPEN BREAKER KNOCKOUT (FILLER PLATE MISSING)**

**An unused circuit-breaker panel opening was observed without a filler plate installed.** Missing filler plates expose live electrical components, presenting a serious shock hazard. Correction by a licensed electrician is recommended.

## Recommendation

Contact a qualified electrical contractor.



## 18.3.2 Panelboards and Breakers

**MISSING IDENTIFICATION OF DISCONNECTS AT PANEL**

**The electrical panel was observed with missing or inadequate identification of individual circuits.** Each circuit should be clearly labeled to indicate its purpose, and no two circuits should share the same label. Proper labeling improves safety and facilitates service. Correction by a licensed electrician is recommended.

## Recommendation

Contact a qualified electrical contractor.



## 18.3.3 Panelboards and Breakers

**MISSING SCREWS AT ELECTRICAL PANEL COVER**

**Missing screws were observed at the electrical panel cover at the time of inspection.** Properly secured panel covers help protect internal electrical components from accidental contact and help maintain safe installation conditions. Replacement of missing screws with proper panel screws is recommended.

## Recommendation

Contact a qualified professional.



# 19: HEATING AND THERMOSTAT

		IN	NI	NP	R
19.1	Thermostat	X			
19.2	Heating Equipment	X			
19.3	Distribution System	X			
19.4	Venting / Flue	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Heating System Information

The type of heating system, energy source, and general system information were documented where visible and identifiable at the time of inspection.

### Manufacturer

TEMPSTAR



### Manufactured Date

2019

### Service Life Expectancy

According to InterNACHI, the typical service life of a furnace is approximately **15 to 25 years**. Systems beyond this age may experience reduced efficiency, increased repair needs, and higher risk of failure. Regular maintenance is recommended to prolong service life. For more information, see: [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#)



**Heating Method**

Warm-Air Heating System

**Energy Source**

Gas

**Filter Size**

16x25x1

Air filters should generally be checked every 1–3 months and replaced as needed. Regular replacement helps maintain system efficiency, indoor air quality, and prolongs the life of the heating system.



**Thermostat: Thermostat Location**

First floor



### **Thermostat: Thermostat Inspected**

The thermostat was inspected and operated using normal controls where accessible. The thermostat location and general response to operation were observed.

### **Heating Equipment: Heating Equipment Inspected**

The heating equipment was inspected where visible and accessible. The system was operated using normal operating controls, and accessible components such as the cabinet, burners, heat exchanger area (where visible), and filter were observed. The inspection included a general evaluation of system condition and performance at the time of inspection. This is not a comprehensive or invasive evaluation, and internal or concealed components were not fully inspected.



### **Heating Equipment: Service Switch Inspected**

The service switch was observed and tested during the inspection. It was found to be operational at the time of inspection.

### **Distribution System: Distribution System Inspected**

The heating distribution system was inspected where visible and accessible. This included ductwork, registers, radiators, or baseboard heating components where present. Inspection included observation for visible damage, disconnections, obstructions, and general airflow or heat distribution at the time of inspection.



### **Distribution System: Ductwork Installed**

Non-insulated

Ductwork was observed in the home. Warm-air heating systems, including heat pump systems, use ductwork to distribute conditioned air throughout the interior. Each room is intended to have a heat source; however, it may not be possible to confirm the presence of every duct register during a visual inspection.

### **Venting / Flue: Venting and Flue Inspected**

The heating system venting and flue components were inspected where visible and accessible. Inspection included observation of vent connectors, flue pipes, and visible terminations for proper installation, secure connections, and general condition.

## **Limitations**

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Distribution System

### **DISTRIBUTION SYSTEM LIMITATIONS**

Inspection of the distribution system was limited to visible and readily accessible components. Ductwork or piping concealed within walls, ceilings, or floors, and areas obstructed by finishes, insulation, or stored items were not fully evaluated.

Venting / Flue

### **VENTING AND FLUE LIMITATIONS**

Inspection of venting and flue components was limited to visible and readily accessible areas. Concealed portions of venting systems, interior chimney flues, and areas not readily accessible were not fully evaluated.

## **Recommendations**

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19.1.1 Thermostat



## AGED THERMOSTAT

**An older thermostat was observed.** Outdated thermostats may lack modern energy-efficient features and can provide less accurate temperature control. Upgrading to a modern programmable or smart thermostat is recommended for improved efficiency and comfort.

Recommendation

Recommended DIY Project

## 20: COOLING / CONDENSATE

		IN	NI	NP	R
20.1	Cooling Equipment (Evaporator Coil)	X			
20.2	Condensate Drainage	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

### Information

#### Cooling Equipment (Evaporator Coil): Evaporator Coil Observed

The indoor cooling equipment, including the evaporator coil, was observed where visible and accessible. Inspection was limited to a visual observation of the exterior of the component.

#### Condensate Drainage: Condensate Drainage Inspected

Visible cooling system condensate drainage components were inspected where accessible.

### Limitations

Cooling Equipment (Evaporator Coil)

#### **EVAPORATOR COIL NOT FULLY VISIBLE**

The evaporator coil is typically enclosed within the plenum or air handler and was not fully visible at the time of inspection.

# 21: ATTIC / INSULATION / VENTILATION

		IN	NI	NP	R
21.1	Attic Structure		X		
21.2	Attic Insulation		X		
21.3	Attic Ventilation		X		
21.4	Mechanical Exhaust Ducts		X		

IN = Inspected    NI = Not Inspected    NP = Not Present    R = Recommendations

## Information

### Attic Inspection Information

The attic area was inspected where accessible. Visible attic components were reviewed, including roof framing, roof sheathing, insulation, ventilation, and visible mechanical exhaust components where present.



### Attic Insulation: Type of Insulation Observed

Undetermined

An attempt was made to identify the type of insulation used in the home based on what was visible and accessible at the time of inspection. Insulation materials can vary in appearance, and in some cases, the exact type cannot be confirmed without invasive methods. Proper installation and adequate coverage are important for maintaining energy efficiency and comfort. Hidden or concealed insulation could not be evaluated.

### Attic Insulation: Approximate Average Depth of Insulation

Attic

N/A

The approximate average depth of insulation in the attic was observed. The recommended insulation levels vary by climate zone and local building codes. This property is located in Climate Zone 5 (Illinois), where the U.S. Department of Energy recommends attic insulation levels of R-49 to R-60, which typically equates to approximately 16 to 20 inches of fiberglass or cellulose insulation.

## Limitations

## Attic Information

**ATTIC INSPECTION LIMITATIONS**

Inspection of the attic was limited to visible and readily accessible areas. Access may have been restricted by limited clearance, insulation depth, stored items, or safety concerns. Concealed areas and areas not readily accessible were not fully evaluated.

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## Attic Structure

**ATTIC INSPECTION RESTRICTED**

The attic space could not be fully inspected due to restricted access and limited visibility. Insulation, framing, and other obstructions concealed portions of the attic, preventing a complete evaluation. The inspection was limited to visible and accessible areas only.

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## Attic Ventilation

**LIMITATION - VENTILATION EVALUATION**

The evaluation of attic ventilation was limited to a general visual inspection. The exact amount of airflow required for this attic space was not calculated. Only readily visible conditions such as general lack of ventilation, high humidity, damp wood, or construction practices inconsistent with common standards were reviewed. Concealed or inaccessible areas could not be evaluated.

# 22: D.A. INSPECTIONS - HOMEOWNER INFORMATION

## Information

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### **D.A. Inspections - Homeowner Maintenance Guidance**

This inspection is a snapshot of the home's visible condition at the time of inspection. Ongoing maintenance, monitoring, and timely repairs by the homeowner are important to help protect the property and extend the service life of home components.

Typical homeowner maintenance includes replacing HVAC filters regularly, monitoring for water leaks or moisture, maintaining proper exterior grading and drainage, cleaning gutters and downspouts, testing smoke and carbon monoxide alarms, and addressing small repairs before they become larger concerns.

Additional maintenance information, checklists, and resources may be provided in the client portal for reference.

### **Report Questions**

Thank you for choosing D.A. Inspections. If anything in the report is unclear or you have questions after reviewing it, please reach out. We're happy to help explain the findings.