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INSPECTION REPORT BY D.A. INSPECTIONS

1234 Main Street
Rockford, IL 61101

Buyer Name
05/22/2026 9:00AM



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Thank you for choosing D.A. Inspections. This report provides a detailed evaluation of the property's condition, highlighting key findings and important areas to consider. My goal is to deliver clear, accurate insights to help you make an informed decision about your home. If you have any questions or need further clarification, please don't hesitate to reach out. Call or text (815) 765-4324. Email Dan@DA-inspections.com.

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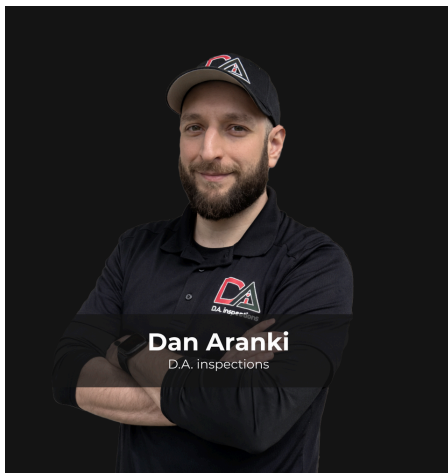
1: INSPECTION DETAIL

Information

Meet Your Inspector: Dan Aranki, CPI

I'm Dan Aranki, a Certified Professional Inspector (CPI)® with InterNACHI and a licensed home inspector in Illinois (#450.013334). My inspections are backed by full insurance and a commitment to professionalism. Each inspection is performed with a careful, detail-oriented approach to identify concerns and provide clear, reliable information. My goal is to give homebuyers, sellers, and real estate professionals the knowledge they need to make confident, well-informed decisions and to ensure every home is evaluated with safety and quality in mind.

Sincerely,
Dan Aranki, CPI



Meet Your Inspector: InterNACHI Qualifications



How to Read Your Report: What is a Defect?

Home inspectors are trained to identify defects or potential issues that may affect the safety, function, or integrity of a property. To help clients better understand the significance of these findings, this report organizes observed issues into three main categories:

- 1. Minor Defects:** These are issues noted for awareness, but they typically do not pose a threat to health, safety, or the structure of the home. Minor defects may be cosmetic in nature, informational, or suggestive of potential future concerns. They are included in the report to keep clients informed but usually do not require urgent attention.
- 2. Defects:** These findings may impact safety, health, or the performance of a component or system. While not immediately hazardous, they represent conditions that should be taken seriously and addressed in a timely manner. Professional evaluation and correction are generally recommended.
- 3. Material Defects:** Material defects are significant issues that may pose an immediate safety risk or indicate the imminent failure of a critical system. These findings are prominently highlighted in the report, and appropriate parties should be notified as soon as possible. Prompt professional repair or replacement is strongly advised.

How to Read Your Report: Why I'm Always on my Phone During an Inspection

You may notice me frequently using my phone during the inspection, rest assured, I'm not texting or distracted. My phone is one of the primary tools I use to document findings, capture detailed photos, and take notes in real-time using advanced inspection software.

Every defect or concern I observe is thoroughly photographed and documented to ensure nothing is missed. These photos are included in your inspection report to provide clarity and visual context, helping you better understand the condition of the home.

This process allows me to deliver accurate, high-quality reports, usually **within 24 hours**, while staying focused and efficient throughout the inspection.

How to Read Your Report: A Home Inspection is Not a Code Inspection

Home inspections are not code inspections, and home inspectors are not code enforcement officials. While building codes help guide safety standards, most older homes were built under different codes and may not meet current requirements. This does not automatically mean the home is unsafe. The focus of a home inspection is to identify defects that affect safety, function, or long-term performance, not to enforce current building code.

How to Read Your Report: Limitations of a Home Inspection

Home inspections are limited to what is visible and accessible. I do my best to find every defect using the tools available, but I can't see through walls or behind finished surfaces.

Some problems may be hidden or develop after the inspection. A system that works today might fail tomorrow. These limits are part of every non-invasive inspection.

The inspection was performed in general accordance with InterNACHI and applicable Illinois Department of Financial and Professional Regulation home inspection standards.

General Inspection Info: In Attendance

Client, Family of My Client, Client's Agent

Clients are encouraged to attend the inspection when possible. This allows time to discuss concerns, explain findings, and answer any questions directly on site.

General Inspection Info: Occupancy

Occupied

General Inspection Info: Type of Building

Single Family

General Inspection Info: Weather Conditions

Sunny

General Inspection Info: Temperature (approximate)

84 Fahrenheit (F)

General Inspection Info: Disclaimer - Older Homes (50+ Years)

Older homes often feature charm and craftsmanship but also have aging materials, outdated systems, and potential hidden issues. Electrical, plumbing, roofing, and structural components may be beyond their expected lifespan. Previous repairs may have used outdated methods or materials.

Ongoing monitoring, repairs, or replacements are common. These homes may also contain materials like lead paint or asbestos. Licensed contractors or specialists should evaluate all aged systems and concerns. Buyers should be prepared for immediate and long-term maintenance.

2: EXTERIOR

		IN	NI	NP	R
2.1	Wall Covering / Structure	X			
2.2	Openings (Windows & Doors)	X			
2.3	Exterior Systems	X			X
2.4	Grounds & Drainage	X			
2.5	Walkways and Access	X			
2.6	Decks / Porches / Railings	X			X
2.7	Fences and Gates	X			
2.8	Hose Bibs / Exterior Faucets	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Location of Main Gas Shut-Off Valve

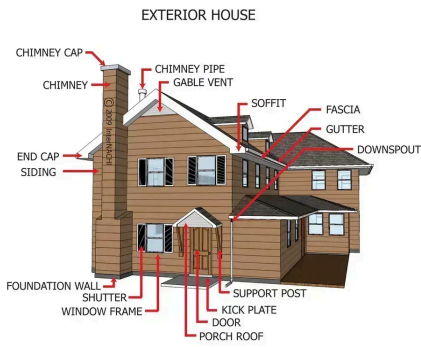
Side of House

The main gas shutoff valve was located at the exterior gas meter.



Exterior Was Inspected

A comprehensive visual inspection of the property's exterior was conducted to assess its overall condition, materials, and potential maintenance needs. The examination covered visible components like siding, trim, windows, doors, grading, and other exterior features to identify any significant issues or areas requiring attention.



Wall Covering / Structure: Type of Wall-Covering Material Described

Various Materials, Aluminum, Vinyl, Brick

The exterior wall-covering material was identified to the best extent possible during the inspection. Like all exterior components, the wall cladding is subject to gradual deterioration from exposure to sun, wind, rain, and temperature fluctuations.

Homeowners should routinely monitor the exterior for signs of wear, damage, or moisture intrusion. Observing developing patterns of deterioration can help prevent more significant issues and preserve the structure's weathertightness.



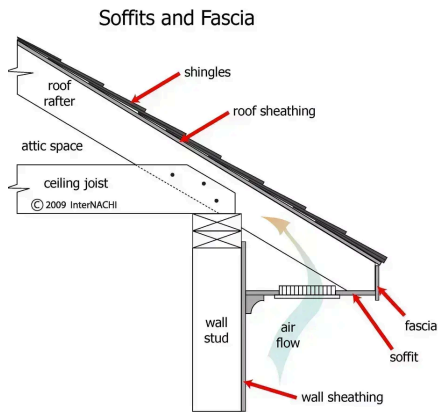
Wall Covering / Structure: Wall Covering Materials Inspected

Exterior

Visible exterior wall covering materials were inspected. Inspection was limited to readily accessible and visible areas at the time of inspection.

Wall Covering / Structure: Eaves, Soffits and Fascia Were Inspected

Eaves, soffits, and fascia are critical exterior architectural components that protect a home's roof structure and contribute to its aesthetic appeal. Eaves extend beyond the exterior walls, soffits are the underside of roof overhangs, and fascia are the vertical boards that run along the roof's lower edge, providing a finished look and supporting gutters.



Wall Covering / Structure: Worn Out Areas of Exterior Wall-Covering

Indications of wear, aging, or deferred maintenance were observed at areas of the exterior wall-covering. These conditions may include fading, cracking, warping, or other signs of material deterioration.

Exterior wall surfaces are exposed to constant environmental stress and should be routinely maintained to preserve their protective function and appearance. Monitoring these areas over time and addressing issues promptly can help prevent further deterioration and potential water intrusion.



Openings (Windows & Doors): Exterior Doors Inspected

A representative number of exterior doors were inspected. The inspection included evaluation of the doors' operation and overall condition as observed at the time of inspection.

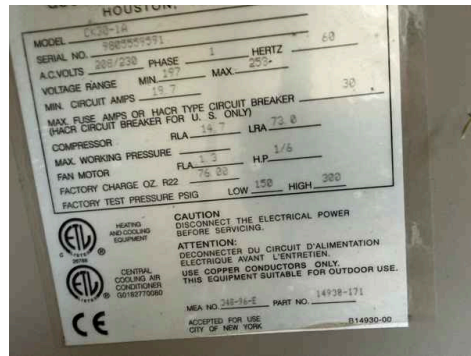
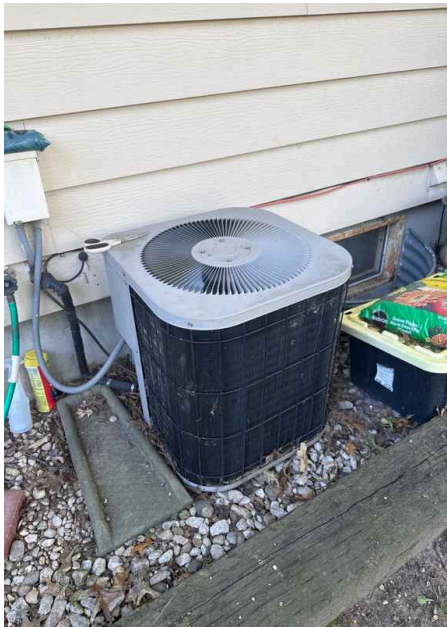
Openings (Windows & Doors): Windows Inspected

A representative number of windows were inspected from the interior and ground level exterior. Inspection was limited to readily accessible and visible components.

Exterior Systems: Manufacturer - AC Unit

Goodman

Most residential air-conditioning systems are relatively simple in design and operation. The adequacy of cooling is subjective and depends on factors such as air distribution, return-air vent locations, air velocity, and system sound. Annual inspection and servicing by a qualified HVAC professional are recommended to help maintain efficiency and performance. If the system is equipped with an air filter, the filter should be inspected regularly and replaced or cleaned as needed.



Exterior Systems: Manufactured Date

1998

Service Life Expectancy

According to InterNACHI, the typical service life of a central air-conditioning unit is approximately 7 to 15 years. Systems beyond this age may experience reduced efficiency, increased repair needs, and higher risk of failure. Regular maintenance and servicing are recommended to help extend service life. For more information, see: [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#)

Exterior Systems: Exterior Electrical Service Components Inspected

Exterior

Visible exterior electrical service components were inspected, including the service drop, overhead conductors, attachment point, service head, and visible service mast or raceway components where present. Inspection was limited to visible and readily accessible components at the time of inspection.

Exterior Systems: Electrical Meter and Base Inspected

The visible electrical meter and meter base were inspected. Inspection was limited to visible exterior components and did not include concealed wiring or utility-owned components.

Exterior Systems: AC Service Disconnect Inspected

The service switch was observed within eye site of the air conditioning unit.

Grounds & Drainage: Vegetation, Drainage, Walls & Grading Were Inspected

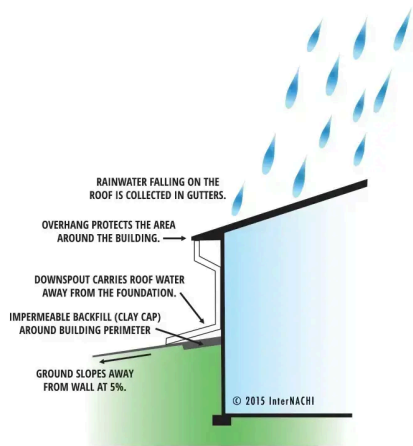
Vegetation, surface drainage, retaining walls, and grading were inspected where visible and accessible. These elements were evaluated for conditions that could adversely affect the structure due to moisture intrusion or related damage. Monitoring and maintaining proper clearance, drainage flow, and vegetation management are essential to help prevent water-related issues around the home's foundation.

Grounds & Drainage: Gutters And Downspouts Were Inspected

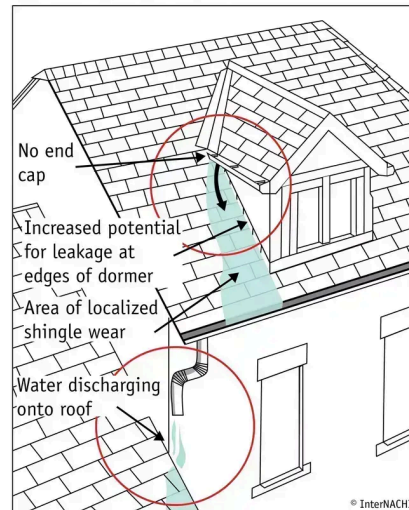
Roof

The gutters and downspouts were visually inspected from accessible locations. A complete inspection of every section was not possible. The general condition was assessed for signs of major defects.

It is recommended to monitor gutters during heavy rain (when safe) to ensure proper function. Gutters should capture rainwater and direct it toward downspouts that discharge at least 4 to 6 feet away from the house foundation to prevent water damage.

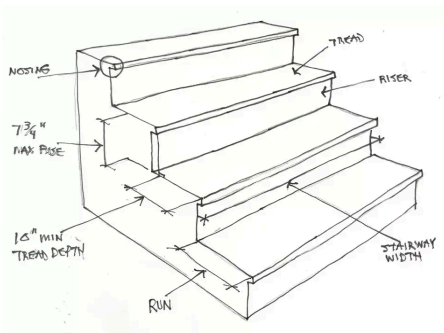


Gutter Improperly Discharging onto Roof



Walkways and Access: Exterior Stairs, Steps, Stoops, and Ramps Were Inspected

Exterior stairs, steps, stoops, stairways, and ramps are critical architectural elements that provide access and connectivity between different levels of a property. These structures can be constructed from various materials such as concrete, wood, metal, or stone, each with unique characteristics and maintenance requirements. Proper design and construction ensure safe vertical movement, accommodate grade changes, and contribute to the overall aesthetic and functional design of a residential property. Regular inspection and maintenance are essential to preserve structural integrity, prevent deterioration, and maintain safe passage for residents and visitors.



Walkways and Access: Walkways & Driveways Were Inspected

Walkways and driveways were inspected visually and where accessible. Walkways and driveways are critical exterior hardscape elements that provide access, circulation, and aesthetic value to residential properties. These surfaces are typically constructed from materials like concrete, asphalt, pavers, brick, or gravel and serve functional transportation purposes while contributing to overall property landscaping. Proper installation, maintenance, and periodic inspection are essential for ensuring safe, durable, and visually appealing pedestrian and vehicular pathways around a home.

Decks / Porches / Railings: Porches, Patios, Decks, and Balconies Were Inspected

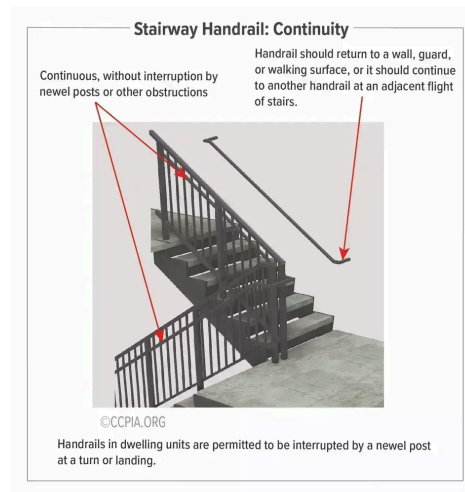
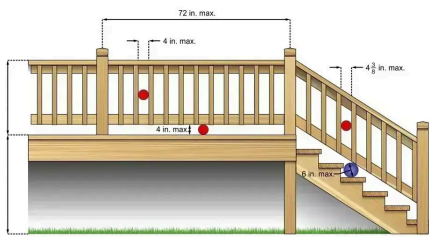
The porches, patios, decks, and balconies at the property were inspected where accessible and visible. This inspection was not a code compliance inspection, but home inspectors may refer to code guidelines to help identify potential safety or performance concerns. Structures that are a few years old may not meet current code standards, and that's expected. The focus of the inspection is to identify visible defects or conditions that may impact safety, stability, or contribute to water intrusion.

Decks / Porches / Railings: Railings, Guards & Handrails Were Inspected

Railings, guards, and handrails are essential safety components in residential structures, designed to prevent falls and provide support during movement between levels or along stairs. These architectural elements serve multiple purposes, including fall protection, structural support, and accessibility assistance. Proper installation, maintenance, and compliance with local building codes are critical for ensuring occupant safety and preventing potential injuries. Railings can be constructed from various materials such as wood, metal, glass, or composite materials, each offering different aesthetic and functional characteristics.

Decks / Porches / Railings: Guardrail vs Handrail

Many people are confused on the difference between "handrails" and "guardrails". In general, according to the International Residential Building Code, a guardrail helps prevent someone from falling off a stairway or walking surface that is more than 30" in height off the ground. A grippable handrail is necessary on at least one side when there are more than four risers on a stairway. The handrail may attach to a guardrail, but is technically a separate component.



Fences and Gates: Fences and Gates Observed

Fences and gates were visually observed as a courtesy where present. This is not part of the standard home inspection and was limited to a general observation of visible conditions.

Hose Bibs / Exterior Faucets: Hose Bibs Inspected

Exterior hose bibs were inspected where present. Inspection included operation using normal controls and observation for visible leaks or defects.

Hose Bibs / Exterior Faucets: Water Pressure (Static)

40–60 PSI

Static water pressure was measured at an exterior hose bib where accessible. Typical residential water pressure is often between approximately 40 and 60 PSI. This measurement is provided for general reference only and is not a substitute for a comprehensive plumbing evaluation.

Limitations

Wall Covering / Structure

INSPECTION WAS RESTRICTED

During the standard residential inspection, access to the eaves, soffits, and fascia was restricted, preventing a comprehensive evaluation of these exterior components. Limited accessibility can prevent a thorough assessment of potential damage, deterioration, or maintenance issues that might exist in these critical areas.

Openings (Windows & Doors)

INSPECTION RESTRICTED

Inspection of windows was limited. A representative number were inspected; however, it is not possible to evaluate every window component during a standard home inspection. Windows located above the first floor or those otherwise inaccessible were not closely inspected. The inspection is not considered exhaustive.

Exterior Systems

UNABLE TO TEST GFCI

The GFCI at the exterior could not be tested due to access or inspection limitations. This restricted the ability to confirm proper function. Evaluation by a qualified electrician is recommended if GFCI operation is in question.

Grounds & Drainage

INSPECTION WAS RESTRICTED

The inspection of vegetation, surface drainage, retaining walls, and grading was limited to visible and accessible areas only. Subsurface conditions are not visible and were not evaluated. Soil was not disturbed, and hidden conditions, such as excessive mulch buildup or improper subsurface grading, may exist. This was a visual, non-invasive inspection performed to the best of reasonable ability within the scope of a home inspection.

Grounds & Drainage

GUTTERS AND DOWNSPOUTS LIMITATION

Not all gutter components and systems were accessible for close inspection. Some areas could not be fully evaluated due to limited access or safety concerns.

Decks / Porches / Railings

UNABLE TO SEE UNDER DECK OR PORCH

Access to the area beneath the porch or deck was limited. A close inspection of the underside was not possible.



Fences and Gates

FENCES AND GATES LIMITATIONS

Fences and gates are not part of the standard home inspection scope. Observation was limited to visible conditions at the time of inspection and did not include a full evaluation of property lines, ownership, structural stability, or security.

Hose Bibs / Exterior Faucets

HOSE BIB LIMITATIONS

Inspection of exterior hose bibs was limited to visible and accessible components. Underground piping, concealed piping, and seasonal conditions were not fully evaluated.

Recommendations

2.1.1 Wall Covering / Structure



DETERIORATED CAULKING NOTED

Deteriorated caulking was observed during the exterior inspection, which can allow water penetration into wall cavities and structural components. Caulking is a critical exterior sealant that prevents moisture intrusion and maintains building envelope integrity. This creates potential risks of water damage, wood rot, and potential mold growth. Recommend having a professional inspect and replace all deteriorated caulking to prevent further moisture-related damage.

Recommendation

Contact a qualified professional.



2.1.2 Wall Covering / Structure

**PAINT SURFACE IN POOR CONDITION**

Observed indications of deteriorated paint or stain surfaces, including flaking, cracking, or worn areas. This condition can expose underlying materials to weathering and decay. Correction and further evaluation by a qualified contractor is recommended.

Recommendation

Contact a qualified painting contractor.



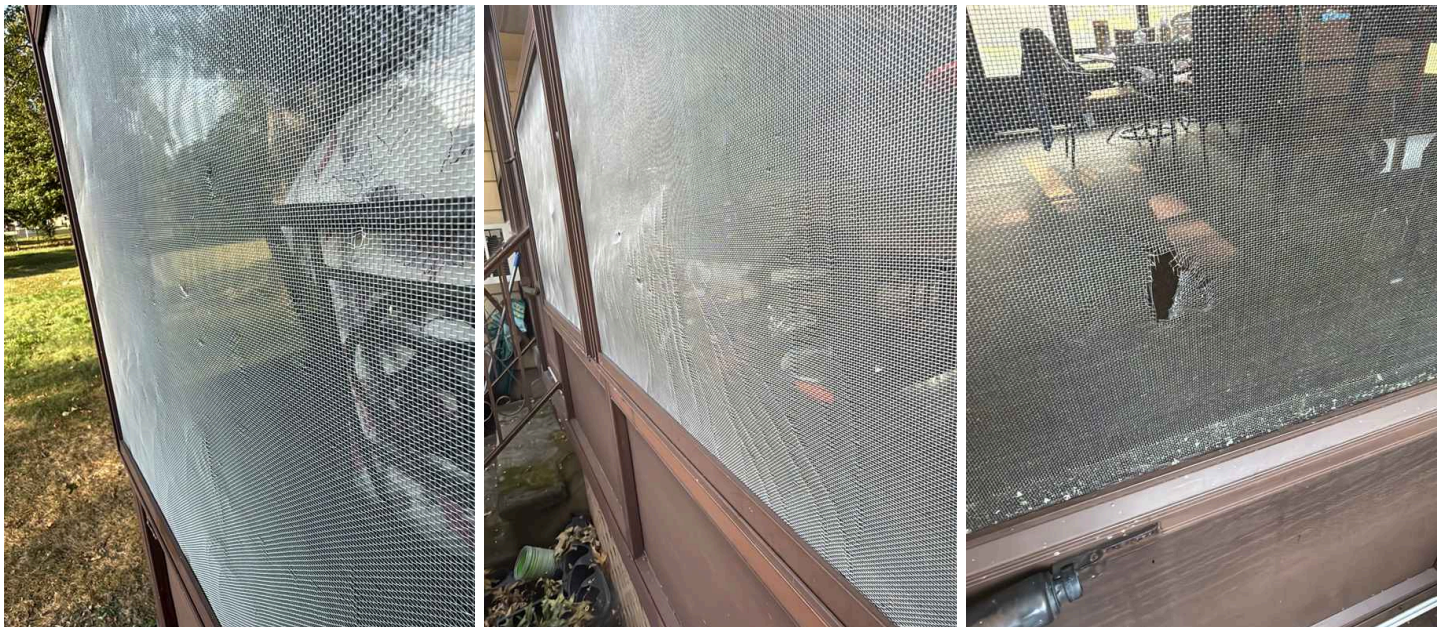
2.2.1 Openings (Windows & Doors)

**DAMAGED WINDOW SCREEN**


A damaged window screen was observed. This condition may reduce functionality, limit ventilation, and allow insect intrusion. Correction and further evaluation by a qualified contractor is recommended.

Recommendation

Contact a qualified handyman.



2.3.1 Exterior Systems

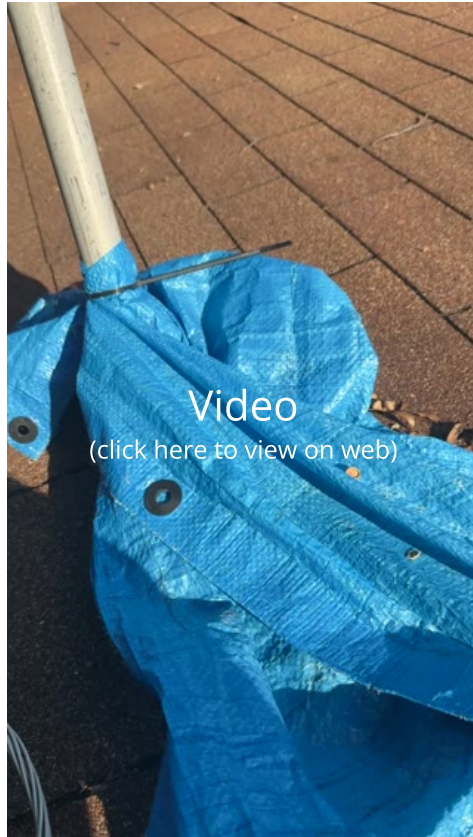
 Material Defect

DAMAGE AT MAST

Damage was observed at the electrical service mast. A damaged mast can compromise the safe support and protection of service conductors, creating fire and shock hazards. **Immediate evaluation and repair by the electrical utility provider or a licensed electrician are recommended.**

Recommendation

Contact a qualified electrical contractor.



2.3.2 Exterior Systems

**MISSING RECEPTACLE**

An exterior electrical receptacle outlet was observed to be missing. At least one outlet is typically required at both the front and rear of a dwelling for general use and convenience. Correction and further evaluation by a qualified electrician is recommended.

Recommendation

Contact a qualified electrical contractor.

2.3.3 Exterior Systems

**AIR FLOW RESTRICTED BY DIRT**

Dirt and debris were observed restricting airflow to the air-conditioning unit. Restricted airflow can reduce efficiency, increase wear on components, and shorten system lifespan. Cleaning and maintenance by a qualified HVAC contractor are recommended.

Recommendation

Contact a qualified HVAC professional.



2.3.4 Exterior Systems

**OLD SYSTEM**

The cooling system was observed to be old and likely at or near the end of its typical service life. Older systems are less reliable and may require more frequent repairs. Information regarding recent performance should be obtained from the homeowner or occupant. Regular maintenance and monitoring are recommended, and budgeting for repairs or replacement should be anticipated. For reference, see [InterNACHI's Standard Estimate Life Expectancy Chart for Homes](#).

Recommendation

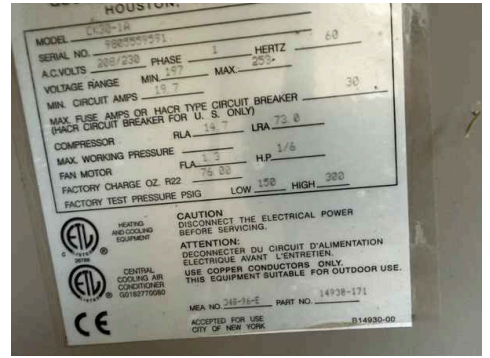
Recommend monitoring.

2.3.5 Exterior Systems

OUTDATED R-22 REFRIGERANT IN AC UNIT



The air-conditioning system was observed to be using R-22 refrigerant, which has been phased out due to environmental concerns. Since 2020, R-22 has no longer been produced, making repairs costly and refrigerant refills difficult to obtain. Replacement with a modern, energy-efficient system that uses environmentally friendly refrigerants, such as R-410A, should be anticipated.



Recommendation

Contact a qualified HVAC professional.

2.4.1 Grounds & Drainage

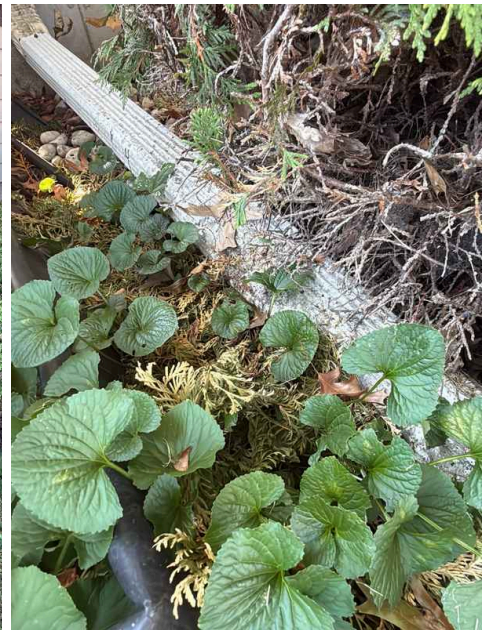
GUTTER DAMAGED



Damage was observed to the gutter system. This condition may impair proper water drainage and lead to further issues. Correction by a qualified contractor is recommended.

Recommendation

Contact a qualified gutter contractor



2.4.2 Grounds & Drainage

DIVERTER TRAYS NEEDS ADJUSTMENT

 Minor Defect

The water diverter tray or splash block at the downspout end showed signs of needing adjustment or improvement. Proper placement ensures water is directed away from the foundation.

Recommendation

Recommended DIY Project



2.5.1 Walkways and Access

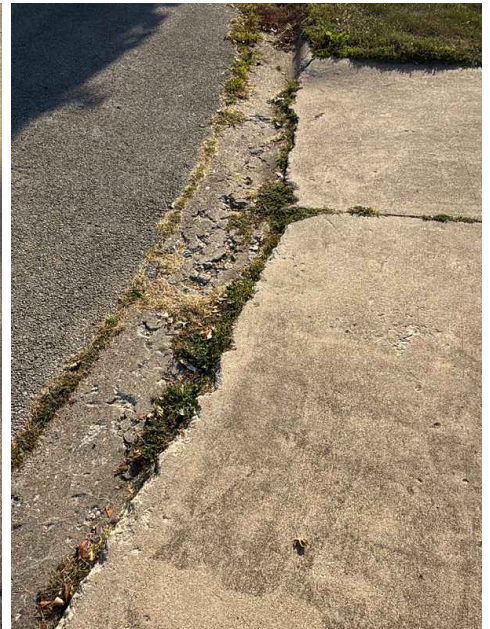
MINOR DRIVEWAY CRACKING

 Minor Defect

Minor cracking was observed in the driveway during the exterior inspection. These cracks indicate potential underlying structural issues with the concrete surface or base foundation. Such damage can worsen over time, potentially leading to further deterioration, uneven surface conditions, and potential tripping hazards. Recommend monitoring the cracks and consulting a concrete or driveway contractor for professional assessment and repair strategies if they grow or become hazards.

Recommendation

Contact a qualified concrete contractor.



2.5.2 Walkways and Access

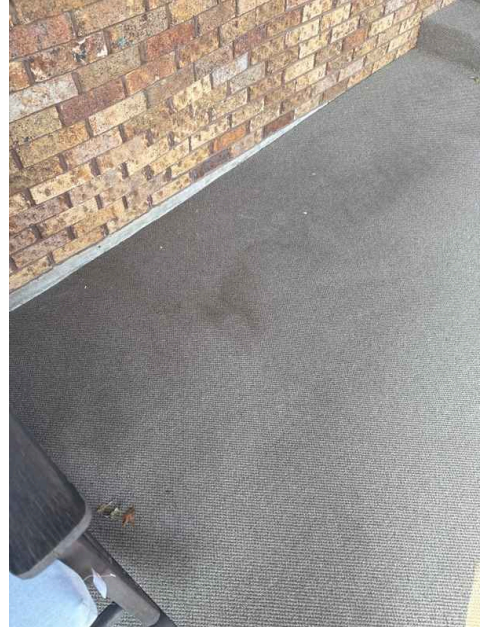
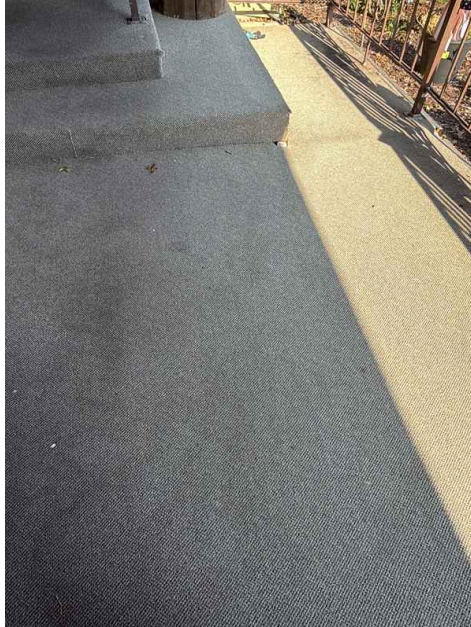
**TRIP HAZARD**

EXTERIOR

Uneven walkway surface creating a potential tripping risk was discovered during the exterior inspection. This condition presents a significant safety hazard for pedestrians using the walkway. The uneven surface could cause unexpected falls, potentially resulting in personal injury. Recommend professional evaluation and repair by a concrete or masonry contractor to level and smooth the walking surface.

Recommendation

Contact a qualified concrete contractor.



2.6.1 Decks / Porches / Railings

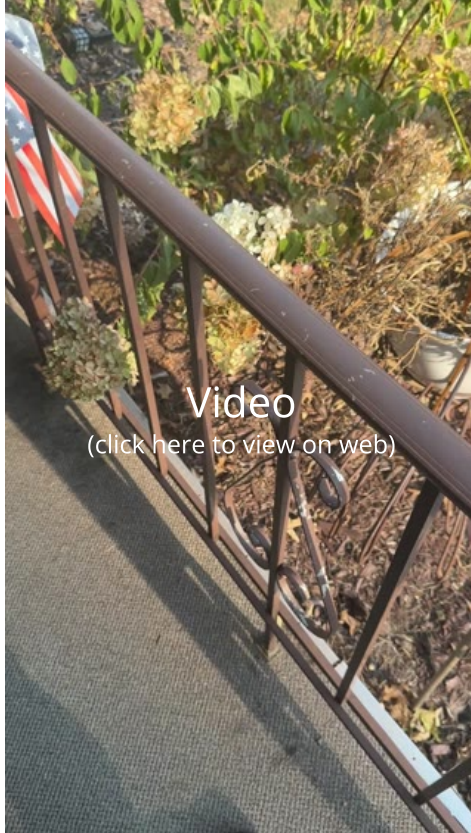
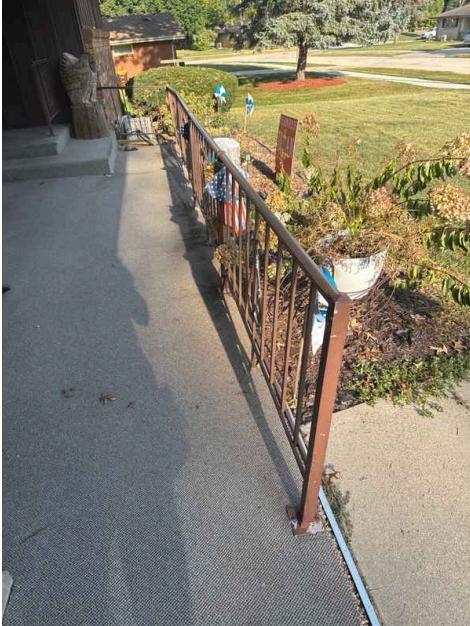


LOOSE RAILING COMPONENT

A loose railing component was observed. This condition presents a safety hazard, as it may not provide adequate support. Correction and further evaluation by a qualified contractor is recommended.

Recommendation

Contact a qualified handyman.



3: ROOF

		IN	NI	NP	R
3.1	Roof Covering Materials	X			X
3.2	Flashing	X			X
3.3	Penetrations & Components	X			

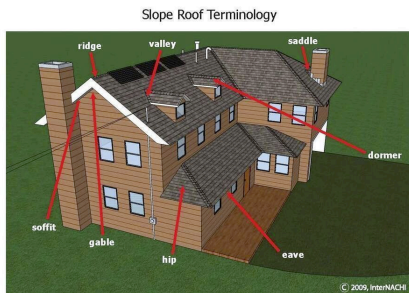
IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Roof System and Components

Roof

Any roof can leak. Roofs are designed to be watertight, not waterproof. Over time, all roofing materials and components will age, deteriorate, and require replacement.



Roof Was Inspected

Roof

Ground, Roof, Ladder

The roof was inspected using various safe methods and vantage points. Every effort was made to perform a thorough inspection within safety limits.

Limitations such as weather, moss, steep slopes, and other conditions may prevent a complete evaluation. This inspection does not replace a specialized roofing professional's assessment.

Any observed defects should be evaluated and repaired by a qualified roofing contractor.



Roof Covering Materials: Type of Roof-Covering

Roof

Asphalt Shingle

The roof covering material was observed and its type identified when possible. Many styles, brands, and materials exist, each with specific installation requirements beyond the scope of this inspection.

This was a general, visual inspection only. Every effort was made using professional judgment to identify and report any defects.

Roof Covering Materials: Roof Covering Materials Inspected

Exterior

Visible roof covering materials were inspected. Inspection was limited to visible and readily accessible roof surfaces at the time of inspection.

Flashing: Flashing at the Roof System Inspected

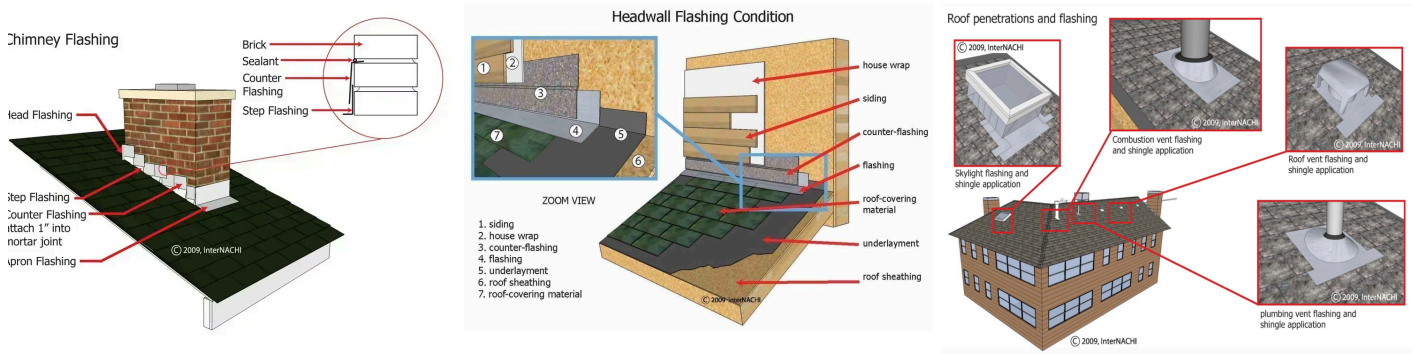
Roof

The flashing at the roof system was visually inspected from accessible and safe vantage points. This was a non-invasive, visual-only inspection, consistent with the scope of a standard home inspection. No roof-covering materials were lifted or removed, and no water tests were performed.

Flashing is typically installed in the following areas:

- Around roof penetrations such as vent pipes, chimneys, and skylights to help direct water away from vulnerable openings.
- At wall intersections where the roof meets a vertical surface. These areas typically include base flashing and counter flashing for proper protection.
- Along eaves and gable edges. Drip edge flashing helps direct water into the gutters and protects the roof sheathing from moisture intrusion.

Proper flashing is essential for managing water runoff and reducing the risk of leaks at roof transitions and penetrations.

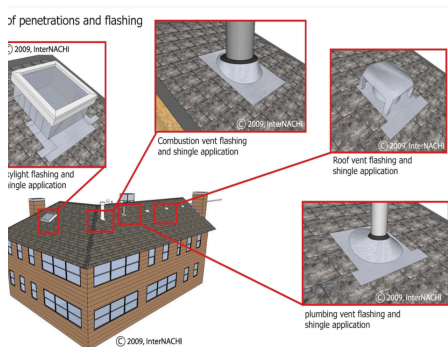


Penetrations & Components: Roof Penetrations Inspected

Roof

Roof penetrations including vents, skylights, chimneys, and any other installed components were inspected from accessible locations. This was a visual inspection only. No water testing, pressure testing, or invasive methods were performed, as these are beyond the scope of a standard home inspection.

- DWV (drain, waste and vent) pipes are plumbing pipes that pass through the roof covering. There should be watertight flashing (often black rubber material) installed around the vent pipes. These plumbing vent pipes should extend far enough above the roof surface.
- Flue gas vent pipes pipes that carry flue gasses out of the building and pass through the roof covering. All gas-fired appliances must be connected to venting systems. There should be watertight metal flashing installed around the flue gas vent pipes. The vent pipes should extend far enough above the roof surface.
- Skylights are notoriously problematic and a common point of leaks. It is important to keep the area around the skylight free of debris and to monitor it for evidence of water leaks during heavy rains and/or winter snow melts.
- In general, all roof penetrations should be properly flashed and sealed, and should not allow any outside water into the home or below the roof covering material.



Limitations

General Roof System and Components Information

LIMITATIONS - ROOF INSPECTION

ROOF

This was a visual, non-exhaustive inspection of the roof covering, penetrations, flashing, skylights, gutters, downspouts, and other accessible components deemed safe to access. It was not a detailed inspection of every installation detail or compliance with manufacturer specifications or building codes.

Many parts of the roof, such as underlayment, decking, fastening, and shingle quality, are not visible or accessible. Limitations including weather, steep or slippery surfaces may also restrict full evaluation.

Detecting leaks is generally only possible when actively occurring or through specialized water testing, which is beyond the scope of this inspection. All roofs age, deteriorate, and eventually leak. It is recommended to request seller disclosures regarding the roof and ensure adequate roof coverage in your insurance policy.

Flashing

DIFFICULT TO SEE EVERY FLASHING

The flashing at vent pipes, wall intersections, eaves, gables, and roof-covering materials was inspected to the extent visible and accessible. Flashing is typically installed where the roof covering meets other components, such as vent pipes or siding.

Most flashing is hidden beneath roofing materials and is not visible during a standard home inspection. Due to this, a complete evaluation of all flashing components is not possible. Home inspections are limited visual assessments and do not include destructive testing or removal of materials.

Penetrations & Components

ROOF VENT PIPE ACCESS - LIMITATION

Not all roof vent pipes were accessible for close inspection. This limitation restricted a full evaluation of their installation and condition.

Recommendations

3.1.1 Roof Covering Materials

**ROOF SAG OR DEFLECTION**

Areas of sag or deflection were observed in the roof structure. This condition may be due to undersized framing members, long-term moisture exposure, prior modifications, or natural aging of materials. While sagging is not uncommon in older homes, it may indicate weakening or stress in the structural components.

Further evaluation by a qualified roofing contractor or structural engineer is recommended to determine the cause and any necessary corrective action.

Recommendation

Contact a qualified roofing professional.



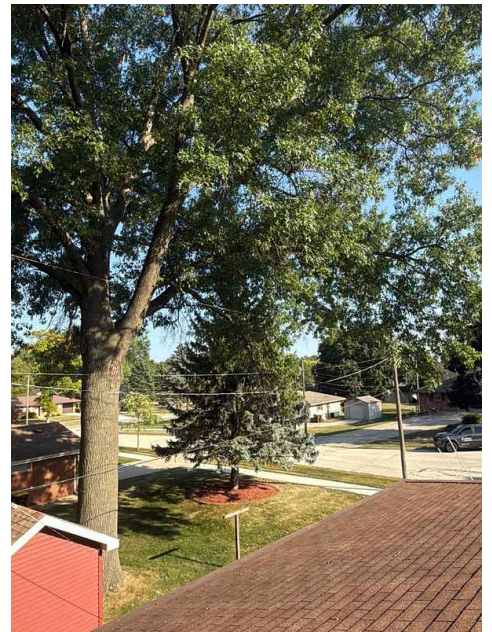
3.1.2 Roof Covering Materials

**TREE TOO CLOSE**

Tree branches were observed overhanging or in contact with the roof. Overhanging branches can damage roofing materials and trap moisture against the surface. Leaves and debris from nearby trees can also quickly clog gutters and downspouts. Trimming back vegetation and maintaining clearance around the roof is recommended.

Recommendation

Contact a qualified tree service company.



3.1.3 Roof Covering Materials



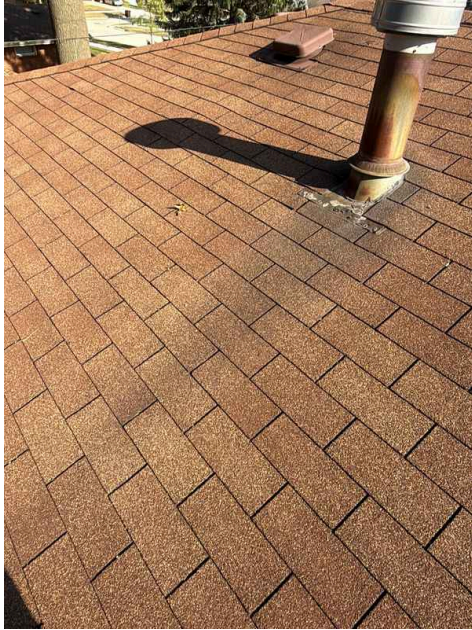
Defect

ROOF SYSTEM APPEARS AGED AND NEAR END OF EXPECTED SERVICE LIFE

The roof system appears to be aged and may be near or beyond its expected service life, based on visual observations and typical lifespan data from [InterNACHI's Standard Estimate Life Expectancy Chart for Homes](#). While no active leaks were confirmed, older roofing materials are more vulnerable to water intrusion, especially during severe weather. Ask the seller about recent roof performance and any prior repairs. Further evaluation and budgeting for repair or replacement by a qualified roofing contractor are recommended.

Recommendation

Recommend monitoring.

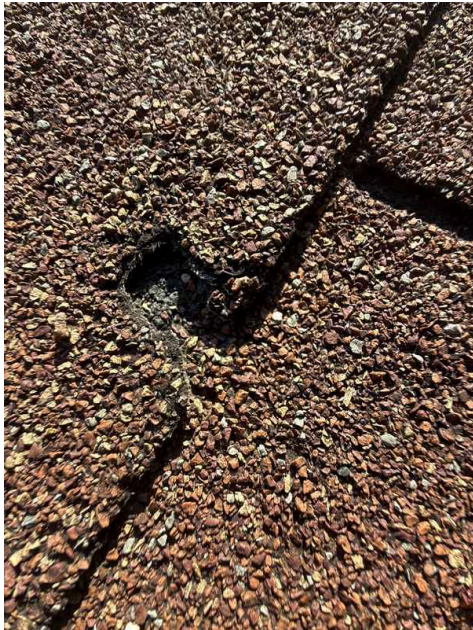
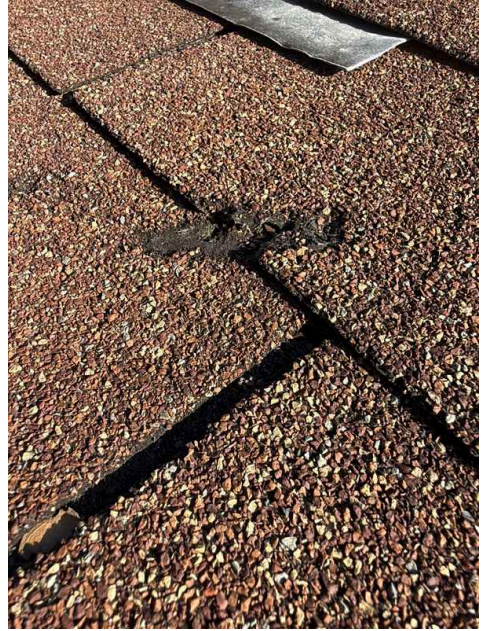


3.1.4 Roof Covering Materials



SUSPECTED HAIL DAMAGE TO ROOF COVERING

Areas of the roof covering exhibited marks consistent with possible hail damage. This condition may affect the service life of the roofing materials. Evaluation by a qualified roofing contractor is recommended.



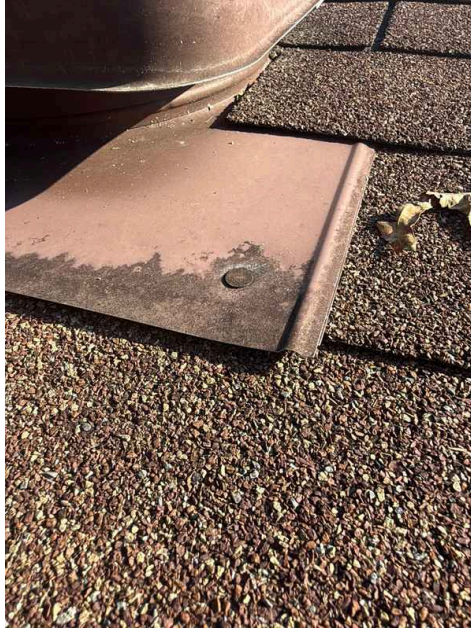
3.2.1 Flashing

**VENT PIPE FLASHING DEFECT**

Defects were observed at the vent pipe flashing. Flashing in these areas is intended to seal roof penetrations and prevent water intrusion. Damaged, improperly installed, or deteriorated vent pipe flashing increases the potential for roof leaks in affected areas. Correction and evaluation by a qualified roofing contractor is recommended.

Recommendation

Contact a qualified roofing professional.



4: ATTACHED GARAGE

		IN	NI	NP	R
4.1	Garage Structure & Components	X			
4.2	Garage Door & Opener	X			
4.3	Garage Electrical	X			X

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Garage Structure & Components: Garage Ceiling and Walls Inspected

The ceiling and walls of the garage were inspected in accordance with the Home Inspection Standards of Practice. Readily visible surfaces were evaluated for signs of damage, deterioration, or safety concerns.

Garage Structure & Components: Garage Floor Inspected

The floor of the attached garage was inspected for readily visible defects and safety concerns in accordance with the Home Inspection Standards of Practice. Garage floors are typically evaluated for surface condition, cracks, and proper slope to direct water toward the exterior vehicle door.

Garage Structure & Components: Door Between Garage and House Inspected

The door between the attached garage and the house was inspected. This door should be constructed of solid wood at least 1-3/8 inches thick, solid or honeycomb-core steel at least 1-3/8 inches thick, or be a 20-minute fire-rated type. The door should also be equipped with a self-closing or automatic-closing device for fire safety.

Garage Door & Opener: Type of

Door Operation

Opener

Garage Door & Opener: Garage Vehicle Door Inspected

The garage vehicle door was inspected for operation and visible condition in accordance with the Home Inspection Standards of Practice. Visible door panels, operation type, and manual operation were reviewed where accessible.

Garage Door & Opener: Garage Door Hardware Inspected

Garage

Visible garage door hardware was inspected, including springs, brackets, tracks, rollers, and the manual release handle where present. Inspection was limited to visible and readily accessible components.

Garage Door & Opener: Garage Door Opener Controls Inspected

The garage door opener controls were inspected where present. Operation was checked using normal operating controls.

Garage Door & Opener: Garage Door Safety Features Inspected

Garage door safety features were inspected where present, including photo-electric sensors, auto-reverse features, and visible warning labels. Inspection was limited to normal operating controls and visible safety components.

Garage Electrical: Garage Electrical / GFCI Inspected

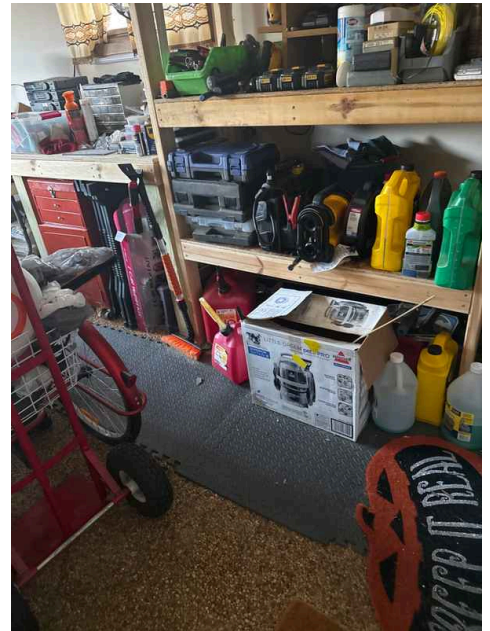
The electrical system in the garage was inspected. Readily accessible receptacles were tested, and ground-fault circuit interrupter (GFCI) protection was evaluated where present. **All garage receptacles are required to have GFCI protection for safety.** Visible electrical components were checked for proper installation and function.

Limitations

Garage Structure & Components

GARAGE INSPECTION LIMITATIONS

Not all areas of the attached garage can be fully observed during a visual inspection. Stored items, shelving, and vehicles may restrict visibility of the floor, walls, and other components. The inspection was limited to the readily accessible and visible areas at the time of the inspection.



Garage Structure & Components

INSPECTION OF GARAGE CEILING, DOORS, WALLS, AND FIREWALLS LIMITED

Not all areas of the garage ceiling, walls, or firewalls could be observed due to inspection restrictions. The inspection was limited to readily visible and accessible surfaces.

Garage Electrical

GARAGE ELECTRICAL INSPECTION LIMITED

Inspection of the garage electrical system was limited due to storage and other obstructions. Some receptacles, wiring, or components may not have been fully accessible or visible at the time of inspection.

Recommendations

4.1.1 Garage Structure & Components

GARAGE-TO-HOUSE DOOR MISSING SELF-CLOSING DEVICE

The door between the garage and the house was not equipped with a self-closing or automatic-closing device. A self-closing mechanism is required to help prevent the spread of fire and hazardous fumes into the living space. Installation of an appropriate self-closing device by a qualified contractor is recommended.

Recommendation

Contact a qualified general contractor.



4.1.2 Garage Structure & Components

 Minor Defect

DAMAGED DRYWALL IN GARAGE

Damage was observed in the drywall of the garage. Damaged drywall may reduce the effectiveness of the required fire separation between the garage and living spaces. Repair by a qualified drywall contractor is recommended.

Recommendation

Contact a qualified drywall contractor.



4.2.1 Garage Door & Opener

 Minor Defect

WEATHERED CONDITION AT GARAGE VEHICLE DOOR

The garage vehicle door showed signs of weathering and delayed maintenance. While not a structural concern, continued deterioration may affect appearance and function over time. Maintenance or refinishing by a qualified contractor is recommended to extend service life.

Recommendation

Contact a qualified garage door contractor.



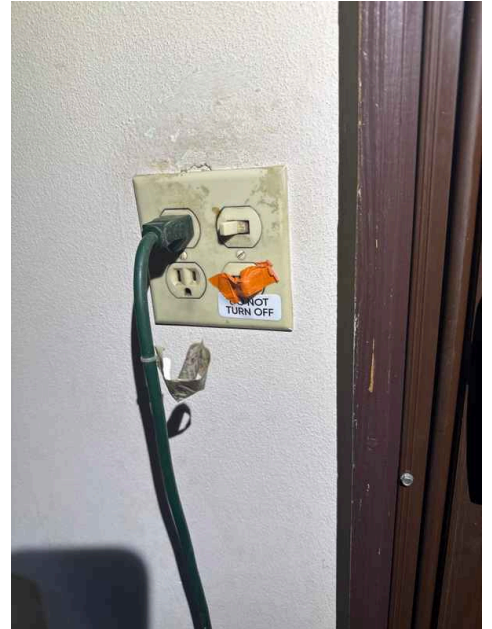
4.3.1 Garage Electrical

**MISSING GFCI PROTECTION IN GARAGE**

A receptacle in the attached garage was observed without ground-fault circuit interrupter (GFCI) protection. Current safety standards require GFCI protection for all 15- and 20-amp receptacles in garages, including outlets serving refrigerators, garage door openers, and washing machines. The absence of GFCI protection increases the risk of electrical shock. Installation of proper GFCI protection by a licensed electrician is recommended.

Recommendation

Contact a qualified electrical contractor.



5: INTERIOR ROOMS INFO

Information

Interior Rooms Inspected: Interior Rooms Inspected

Visible and readily accessible interior room components were inspected, including floors, walls, ceilings, doors, windows, switches, light fixtures, receptacles, and smoke and carbon monoxide alarms where present. Cosmetic conditions were reported when significant, and functional concerns or safety hazards were reported as defects.

Interior Rooms Inspected: Inspected for Presence of Smoke and CO Detectors

The home was inspected for the presence of smoke and carbon monoxide detectors. Current safety standards recommend a smoke detector in every sleeping room, outside each sleeping area, and on every level of the home. The International Association of Fire Chiefs also recommends a carbon monoxide detector on every floor, including the basement, within 15 feet of each bedroom door, and near or above any attached garage.

Interior Rooms Inspected: Detector Life Expectancy and Maintenance

According to the InterNACHI Life Expectancy Chart, smoke and heat detectors typically have a service life of **less than 10 years**, while carbon monoxide detectors generally have a service life of about **5 years**. **Batteries in all detectors should be replaced at least annually**, or more often if recommended by the manufacturer. Replacement of aging detectors is advised to ensure continued reliability and safety.

Limitations

Interior Rooms Inspected

INTERIOR ROOMS LIMITATIONS

Furnishings, stored items, window coverings, floor coverings, personal belongings, and other obstructions may limit visibility of some interior components. Concealed areas and components not readily accessible at the time of inspection were not fully evaluated.

6: BEDROOM 1

		IN	NI	NP	R
6.1	Room Overview				
6.2	Floors, Walls, and Ceilings	X			
6.3	Windows	X			
6.4	Doors	X			
6.5	Switches, Fixtures, and Receptacles	X			
6.6	Heat Source / Airflow	X			
6.7	Smoke and Carbon Monoxide Alarms	X			X

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Room Overview: Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.

Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected

Visible floors, walls, and ceilings were inspected.

Visible and readily accessible windows were inspected.

Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected

Accessible switches, light fixtures, and receptacles were inspected.

Doors: Doors Inspected

Visible and readily accessible doors were inspected.

Heat Source / Airflow: Heat Source / Airflow Inspected

Visible heat sources and airflow components were inspected where present.

Smoke and Carbon Monoxide Alarms: Smoke and Carbon Monoxide Alarms Inspected

Visible smoke and carbon monoxide alarms were inspected where present.

Recommendations

6.7.1 Smoke and Carbon Monoxide Alarms

MISSING SMOKE DETECTOR



One or more required smoke detectors were missing. The absence of functional smoke detectors presents a significant fire safety hazard. Installation of new, code-compliant smoke detectors by a qualified electrician or contractor is recommended to provide adequate protection.

Recommendation

Contact a qualified professional.

6.7.2 Smoke and Carbon Monoxide Alarms



Material Defect

MISSING CARBON MONOXIDE DETECTOR

One or more required carbon monoxide detectors were missing. The absence of functional carbon monoxide detectors presents a significant safety hazard, as carbon monoxide is a colorless and odorless gas that can be life-threatening. Installation of new, code-compliant detectors by a qualified electrician or contractor is recommended.

Recommendation

Contact a qualified professional.

7: BEDROOM 2

		IN	NI	NP	R
7.1	Room Overview				
7.2	Floors, Walls, and Ceilings	X			
7.3	Windows	X			
7.4	Doors	X			
7.5	Switches, Fixtures, and Receptacles	X			
7.6	Heat Source / Airflow	X			
7.7	Smoke and Carbon Monoxide Alarms	X			X

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Room Overview: Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.

Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected

Visible floors, walls, and ceilings were inspected.

Visible and readily accessible windows were inspected.

Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected

Accessible switches, light fixtures, and receptacles were inspected.

Doors: Doors Inspected

Visible and readily accessible doors were inspected.

Heat Source / Airflow: Heat Source / Airflow Inspected

Visible heat sources and airflow components were inspected where present.

Smoke and Carbon Monoxide Alarms: Smoke and Carbon Monoxide Alarms Inspected

Visible smoke and carbon monoxide alarms were inspected where present.

Recommendations

7.7.1 Smoke and Carbon Monoxide Alarms

MISSING SMOKE DETECTOR



Defect

One or more required smoke detectors were missing. The absence of functional smoke detectors presents a significant fire safety hazard. Installation of new, code-compliant smoke detectors by a qualified electrician or contractor is recommended to provide adequate protection.

Recommendation

Contact a qualified professional.

8: BEDROOM 3

		IN	NI	NP	R
8.1	Room Overview				
8.2	Floors, Walls, and Ceilings	X			
8.3	Windows	X			
8.4	Doors	X			
8.5	Switches, Fixtures, and Receptacles	X			
8.6	Heat Source / Airflow	X			
8.7	Smoke and Carbon Monoxide Alarms	X			X

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Room Overview: Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.

Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected

Visible floors, walls, and ceilings were inspected.

Visible and readily accessible windows were inspected.

Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected

Accessible switches, light fixtures, and receptacles were inspected.

Doors: Doors Inspected

Visible and readily accessible doors were inspected.

Heat Source / Airflow: Heat Source / Airflow Inspected

Visible heat sources and airflow components were inspected where present.

Smoke and Carbon Monoxide Alarms: Smoke and Carbon Monoxide Alarms Inspected

Visible smoke and carbon monoxide alarms were inspected where present.

Recommendations

8.7.1 Smoke and Carbon Monoxide Alarms

MISSING SMOKE DETECTOR



Defect

One or more required smoke detectors were missing. The absence of functional smoke detectors presents a significant fire safety hazard. Installation of new, code-compliant smoke detectors by a qualified electrician or contractor is recommended to provide adequate protection.

Recommendation

Contact a qualified professional.

9: HALLWAYS

		IN	NI	NP	R
9.1	Floors, Walls, and Ceilings	X			
9.2	Windows	X			
9.3	Doors	X			
9.4	Switches, Fixtures, and Receptacles	X			X
9.5	Interior Stairs, Steps, and Ramps	X			X
9.6	Heat Source / Airflow	X			
9.7	Smoke and Carbon Monoxide Alarms	X			X

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.

Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected

Visible floors, walls, and ceilings were inspected.

Windows: Windows Inspected

Visible and readily accessible windows were inspected.

Doors: Doors Inspected

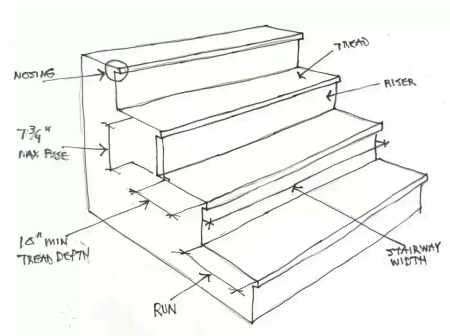
Visible and readily accessible doors were inspected.

Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected

Accessible switches, light fixtures, and receptacles were inspected.

Interior Stairs, Steps, and Ramps: Interior Stairs, Steps, and Ramps Inspected

Visible interior stairs, steps, and ramps were inspected where present. Inspection was limited to readily accessible components at the time of inspection.



Heat Source / Airflow: Heat Source / Airflow Inspected

Visible heat sources and airflow components were inspected where present.

Smoke and Carbon Monoxide Alarms: Smoke and Carbon Monoxide Alarms Inspected

Visible smoke and carbon monoxide alarms were inspected where present.

Recommendations

9.4.1 Switches, Fixtures, and Receptacles

 Defect

MISSING GROUND AT RECEPTACLE

A receptacle was observed with a missing, open, or disconnected ground. A receptacle without proper grounding presents an electrical shock hazard and does not meet modern safety standards. Evaluation and repair by a licensed electrician is recommended.

Recommendation

Contact a qualified electrical contractor.



9.5.1 Interior Stairs, Steps, and Ramps

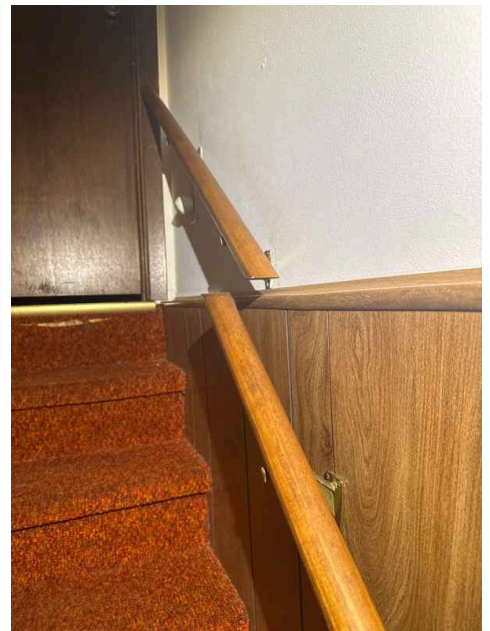
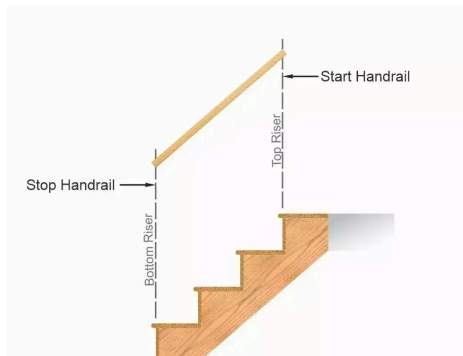
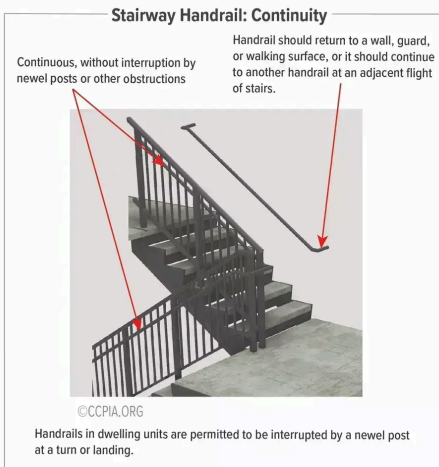
 Defect

HANDRAIL IS NOT CONTINUOUS

A handrail that is not continuous was observed. Handrails for stairs should be continuous for the full length of the stairway. This condition may present a safety hazard. Correction and further evaluation by a qualified contractor is recommended.

Recommendation

Contact a qualified professional.



9.5.2 Interior Stairs, Steps, and Ramps

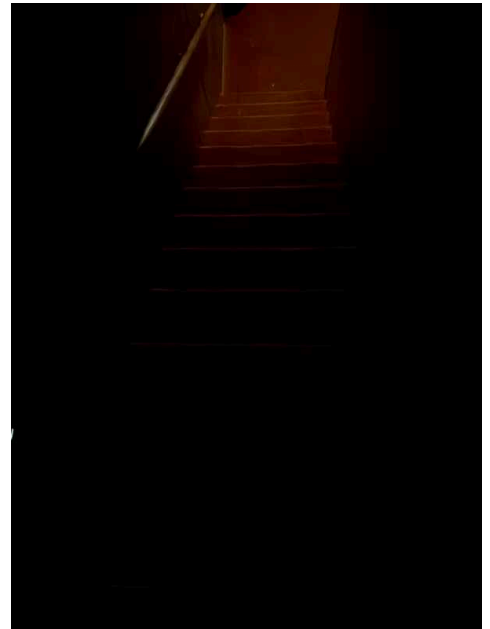
Defect

STAIRWAY ILLUMINATION

Inadequate illumination was observed at the stairway. Proper lighting should be provided for stairways, treads, risers, and landings to reduce the risk of trips or falls. For exterior stairs, a light fixture should be present at the top landing. Correction and further evaluation is recommended.

Recommendation

Contact a qualified professional.



9.7.1 Smoke and Carbon Monoxide Alarms

Defect

MISSING SMOKE DETECTOR

One or more required smoke detectors were missing. The absence of functional smoke detectors presents a significant fire safety hazard. Installation of new, code-compliant smoke detectors by a qualified electrician or contractor is recommended to provide adequate protection.

Recommendation

Contact a qualified professional.

9.7.2 Smoke and Carbon Monoxide Alarms

Material Defect

MISSING CARBON MONOXIDE DETECTOR

One or more required carbon monoxide detectors were missing. The absence of functional carbon monoxide detectors presents a significant safety hazard, as carbon monoxide is a colorless and odorless gas that can be life-threatening. Installation of new, code-compliant detectors by a qualified electrician or contractor is recommended.

Recommendation

Contact a qualified professional.

10: LIVING ROOM

		IN	NI	NP	R
10.1	Room Overview				
10.2	Floors, Walls, and Ceilings	X			
10.3	Windows	X			
10.4	Doors	X			
10.5	Switches, Fixtures, and Receptacles	X			
10.6	Heat Source / Airflow	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Room Overview: Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.

Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected

Visible floors, walls, and ceilings were inspected.

Windows: Windows Inspected

Visible and readily accessible windows were inspected.

Doors: Doors Inspected

Visible and readily accessible doors were inspected.

Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected

Accessible switches, light fixtures, and receptacles were inspected.

Heat Source / Airflow: Heat Source / Airflow Inspected

Visible heat sources and airflow components were inspected where present.

11: DINING ROOM

		IN	NI	NP	R
11.1	Room Overview				
11.2	Floors, Walls, and Ceilings	X			
11.3	Windows	X			
11.4	Doors	X			
11.5	Switches, Fixtures, and Receptacles	X			
11.6	Heat Source / Airflow	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Room Overview: Room Overview

This room was inspected as part of the interior room evaluation. A representative photo or location description may be included for identification when needed.

Floors, Walls, and Ceilings: Floors, Walls, and Ceilings Inspected

Visible floors, walls, and ceilings were inspected.

Windows: Windows Inspected

Visible and readily accessible windows were inspected.

Doors: Doors Inspected

Visible and readily accessible doors were inspected.

Switches, Fixtures, and Receptacles: Switches, Fixtures, and Receptacles Inspected

Accessible switches, light fixtures, and receptacles were inspected.

Heat Source / Airflow: Heat Source / Airflow Inspected

Visible heat sources and airflow components were inspected where present.

12: BATHROOM INFO

Information

Bathrooms Inspected

Visible and readily accessible bathroom components were inspected, including sinks, faucets, visible plumbing, toilets, tubs, showers, switches, light fixtures, receptacles, GFCI protection, exhaust fans, ventilation, floors, walls, ceilings, cabinets, doors, and windows where present. Fixtures were operated using normal operating controls where accessible. Functional concerns, water damage, leakage, safety concerns, or other visible defects were reported when observed.

Limitations

General Bathroom Information

BATHROOM LIMITATIONS

Inspection was limited to visible and readily accessible components at the time of inspection. Concealed plumbing, areas behind finished surfaces, areas below fixtures, and components obstructed by stored items, personal belongings, shower curtains, bath mats, cabinets, or other limitations were not fully evaluated.

13: BATHROOM 1

		IN	NI	NP	R
13.1	Sink, Faucet, and Plumbing	X			
13.2	Toilet	X			
13.3	Tub and Shower	X			
13.4	Switches, Fixtures, Receptacles, and GFCI Protection	X			X
13.5	Exhaust Fan and Ventilation	X			
13.6	Floors, Walls, Ceilings, Cabinets, and Doors	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Bathroom Overview

This bathroom was inspected as part of the bathroom evaluation. A representative photo or location description may be included for identification when needed.

Sink, Faucet, and Plumbing: Sink, Toilet: Toilet Inspected

Faucet, and Plumbing Inspected

The bathroom sink, faucet, and visible plumbing components were inspected.

The toilet was inspected using normal operating controls.

Tub and Shower: Tub and Shower Inspected

The tub and shower were inspected using normal operating controls where present.

Switches, Fixtures, Receptacles, and GFCI Protection: Switches, Fixtures, Receptacles, and GFCI Protection Inspected

Accessible switches, light fixtures, receptacles, and GFCI protection were inspected.

Exhaust Fan and Ventilation: Exhaust Fan and Ventilation Inspected

The bathroom exhaust fan or ventilation components were inspected where present.

Floors, Walls, Ceilings, Cabinets, and Doors: Floors, Walls, Ceilings, Cabinets, and Doors Inspected

Visible bathroom floors, walls, ceilings, cabinets, and doors were inspected.

Recommendations

13.3.1 Tub and Shower

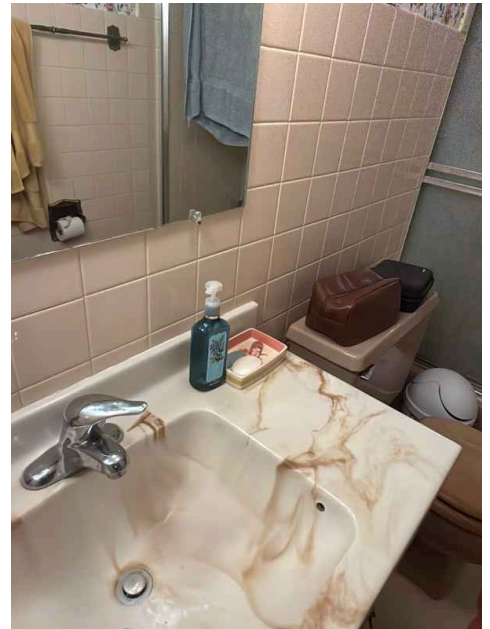
 Minor Defect

INADEQUATE WATER FLOW AT FIXTURE


Inadequate water flow was observed at a fixture when two fixtures were operated simultaneously. Reduced functional flow can indicate a defect in the water supply system, such as partially obstructed piping, pressure issues, or improperly sized supply lines. Evaluation by a licensed plumbing contractor is recommended.

Recommendation

Contact a qualified plumbing contractor.



13.4.1 Switches, Fixtures, Receptacles, and GFCI Protection

 Material Defect

BATHROOM RECEPTACLE NOT GFCI PROTECTED

A receptacle in the bathroom was observed to lack ground-fault circuit interrupter (GFCI) protection. The absence of GFCI protection in wet locations increases the risk of electrical shock. Installation of a properly functioning GFCI device by a licensed electrician is recommended.

Recommendation

Contact a qualified electrical contractor.



13.4.2 Switches, Fixtures, Receptacles, and GFCI Protection

 Defect**GFCI IMPROPERLY WIRED**

A ground-fault circuit interrupter (GFCI) receptacle in the bathroom was observed to be improperly wired. An improperly wired GFCI may not provide the intended protection against electrical shock. Evaluation and repair by a licensed electrician is recommended.

Recommendation

Contact a qualified electrical contractor.



14: BATHROOM 2

		IN	NI	NP	R
14.1	Bathroom Overview				
14.2	Sink, Faucet, and Plumbing	X			
14.3	Toilet	X			
14.4	Tub and Shower			X	
14.5	Switches, Fixtures, Receptacles, and GFCI Protection	X			
14.6	Exhaust Fan and Ventilation	X			
14.7	Floors, Walls, Ceilings, Cabinets, and Doors	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Bathroom Overview: Bathroom Overview

This bathroom was inspected as part of the bathroom evaluation. A representative photo or location description may be included for identification when needed.

Sink, Faucet, and Plumbing: Sink, Toilet: Toilet Inspected

Faucet, and Plumbing Inspected

The bathroom sink, faucet, and visible plumbing components were inspected.

The toilet was inspected using normal operating controls.

Tub and Shower: Tub and Shower Inspected

The tub and shower were inspected using normal operating controls where present.

Switches, Fixtures, Receptacles, and GFCI Protection: Switches, Fixtures, Receptacles, and GFCI Protection Inspected

Accessible switches, light fixtures, receptacles, and GFCI protection were inspected.

Exhaust Fan and Ventilation: Exhaust Fan and Ventilation Inspected

The bathroom exhaust fan or ventilation components were inspected where present.

Floors, Walls, Ceilings, Cabinets, and Doors: Floors, Walls, Ceilings, Cabinets, and Doors Inspected

Visible bathroom floors, walls, ceilings, cabinets, and doors were inspected.

15: KITCHEN

		IN	NI	NP	R
15.1	Countertops and Cabinets	X			
15.2	Kitchen Sink and Plumbing	X			
15.3	Garbage Disposal		X		
15.4	Switches, Fixtures, Receptacles, and GFCI Protection	X			X
15.5	Dishwasher		X		
15.6	Range, Oven, and Cooktop	X			
15.7	Exhaust Fan / Ventilation	X			
15.8	Refrigerator	X			
15.9	Built-in Microwave			X	
15.10	Floors, Walls, Ceilings	X			X

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Countertops and Cabinets:

Countertops and Cabinets

Inspected

Visible countertops and cabinets were inspected.

Kitchen Sink and Plumbing: Kitchen Sink and Plumbing Inspected

Water was run at the kitchen sink to verify basic operation. This action was performed as a courtesy and is beyond the scope of a home inspection. The kitchen sink, faucet, and visible plumbing components were inspected.

Switches, Fixtures, Receptacles, and GFCI Protection: Switches, Fixtures, Receptacles, and GFCI Protection Inspected

Kitchen

Accessible switches, light fixtures, receptacles, and GFCI protection were inspected.

Ground fault circuit interrupter (GFCI) protection were observed and tested in the kitchen. GFCI devices are designed to reduce the risk of electrical shock in wet areas, while arc fault circuit interrupter (AFCI) devices help protect against electrical fires by detecting arcing faults. Testing was performed using the device test button or a testing instrument.

Dishwasher: Manufacturer

Magic Chef

Range, Oven, and Cooktop:

Range/Oven Manufacturer

Whirlpool



Range, Oven, and Cooktop: Range and Oven Operation

Kitchen

The kitchen range and oven were briefly turned on to verify response to operator controls. This action was performed as a courtesy and is beyond the scope of a home inspection. A full cooking cycle was not conducted, and appliance performance under normal use was not evaluated.

Refrigerator: Manufacturer

Samsung



Refrigerator: Refrigerator Operation Check

The refrigerator was observed to be on at the time of inspection. No further inspection or testing was performed, as refrigerators are beyond the scope of a home inspection.

Built-in Microwave: Manufacturer

N/A

Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

Visible kitchen floors, walls, and ceilings were inspected.

Limitations

Countertops and Cabinets

CABINETS AND COUNTERTOPS INSPECTION LIMITATION

Inspection of cabinets and countertops was limited to a representative number of surfaces. Stored items and personal belongings restricted visibility and prevented a complete evaluation of all areas.

Garbage Disposal

GARBAGE DISPOSAL NOT OPERATED

The garbage disposal was not operated during the inspection because the unit was either not powered, unplugged, or contained items left by the occupant. As a result, the condition and performance of the disposal could not be evaluated.



Switches, Fixtures, Receptacles, and GFCI Protection

GFCI/AFCI KITCHEN RECEPTACLES LIMITATION

KITCHEN

Not all kitchen receptacles were inspected or tested for GFCI or AFCI protection, as testing every receptacle is beyond the scope of a home inspection. Instead, a representative number of receptacles were inspected.

Dishwasher

DISHWASHER NOT OPERATED

The dishwasher was not operated during the inspection. The unit may not have been powered, was unplugged, or contained items that prevented safe operation. As a result, its condition and performance could not be evaluated.

Floors, Walls, Ceilings

FLOORS, WALLS, AND CEILINGS INSPECTION LIMITATION

Inspection of floors, walls, and ceilings was limited to readily visible surfaces. Conditions behind wall coverings, under flooring, beneath carpets, or obstructed by furnishings and stored items could not be inspected.

Recommendations

15.3.1 Garbage Disposal



Minor Defect

GARBAGE DISPOSAL DID NOT OPERATE

The garbage disposal did not turn on when tested at the switch.

This condition indicates a defect that prevents normal operation. Evaluation and repair or replacement by a qualified plumbing or electrical contractor is recommended.

Recommendation

Contact a qualified handyman.



15.4.1 Switches, Fixtures, Receptacles, and GFCI Protection



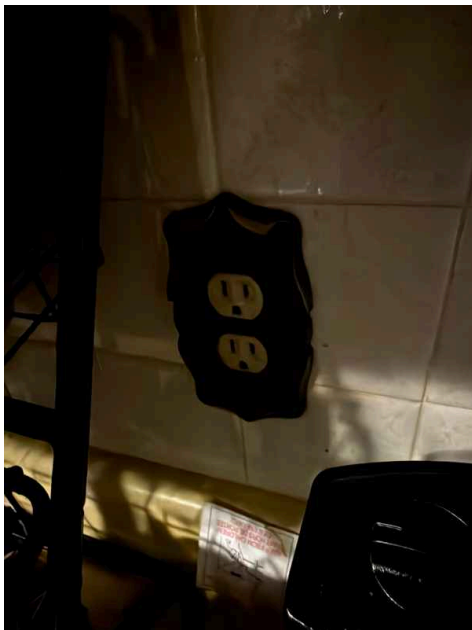
Defect

MISSING GFCI PROTECTION - KITCHEN

GFCI protection was not present at one or more kitchen countertop receptacles. All kitchen countertop receptacles are required to be GFCI protected to reduce the risk of electrical shock in wet areas. Installation of GFCI protection by a qualified electrical contractor is recommended.

Recommendation

Contact a qualified electrical contractor.



15.5.1 Dishwasher

**DISHWASHER INOPERATIVE**

The dishwasher did not turn on during the inspection and appeared to be inoperative. This condition prevents normal operation and cleaning function. Evaluation and repair or replacement by a qualified appliance or plumbing contractor is recommended.

Recommendation

Contact a qualified appliance repair professional.

15.7.1 Exhaust Fan / Ventilation

**KITCHEN EXHAUST FAN LIGHT INOPERATIVE**

The light at the kitchen exhaust fan was observed to not turn on. This condition may be due to a burned-out bulb or an electrical defect within the fixture. Evaluation and repair or replacement by a qualified appliance contractor is recommended.

Recommendation

Contact a qualified electrical contractor.



15.8.1 Refrigerator

**REFRIGERATOR NOT GFCI PROTECTED**

The refrigerator was not observed to be plugged into a GFCI-protected receptacle. Current electrical standards generally require kitchen receptacles to be GFCI protected for enhanced safety. Upgrading the outlet to provide GFCI protection by a qualified electrician is recommended.

Recommendation

Contact a qualified professional.

15.10.1 Floors, Walls, Ceilings



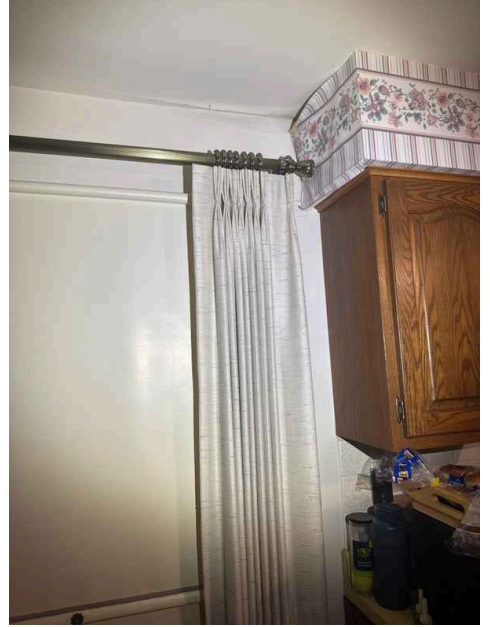
Defect

MOISTURE DAMAGE AT WALLS

Stains were observed on the walls that appeared consistent with moisture intrusion. The source of moisture may have been corrected prior to the inspection, but this could not be confirmed. Further evaluation by a qualified contractor is recommended to confirm the condition and perform any necessary repairs.

Recommendation

Contact a qualified professional.



16: LAUNDRY

		IN	NI	NP	R
16.1	Laundry Room, Electrical, and Utility Sink	X			X
16.2	Clothes Washer	X			
16.3	Clothes Dryer	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Laundry Room, Electrical, and Utility Sink: Laundry Room, Electrical, and Utility Sink Inspected

Visible laundry room components were inspected, including accessible receptacles, switches, light fixtures, and the utility sink where present.

Clothes Washer: Manufacturer

LG



Clothes Washer: Manufactured Date

N/A

Service Life Expectancy

According to InterNACHI, the typical service life of a clothes washer is approximately **5 to 15 years**. Units beyond this age may experience reduced efficiency, increased repair needs, and a higher risk of failure. Regular maintenance is recommended to prolong service life. For more information, see: [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#)

Clothes Washer: Washer Operation Check

The washing machine was briefly turned on to verify response to operator controls. This action was performed as a courtesy and is beyond the scope of a home inspection. A full cycle was not run, and this should not be considered an exhaustive test of the appliance.

Clothes Dryer: Manufacturer

LG



Clothes Dryer: Manufactured Date

N/A

Service Life Expectancy

According to InterNACHI, the typical service life of a clothes dryer is approximately **13 years**. Units beyond this age may experience reduced efficiency, increased repair needs, and a higher risk of failure. Regular maintenance is recommended to prolong service life. For more information, see: [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#)

Clothes Dryer: Dryer Operation Check

The clothes dryer was briefly turned on to verify response to operator controls. This action was performed as a courtesy and is beyond the scope of a home inspection. A full cycle was not run, and this should not be considered an exhaustive test of the appliance.

Limitations

Laundry Room, Electrical, and Utility Sink

LAUNDRY ROOM LIMITATIONS

Inspection of the laundry area was limited to visible and readily accessible components. Appliances, concealed wiring, plumbing behind walls, and areas obstructed by stored items or equipment were not fully evaluated.

Clothes Washer

WASHER MANUFACTURED DATE NOT DETERMINED

The manufactured date of the clothes washer could not be determined. The data plate or serial label was not visible, was obscured, or was no longer legible. As a result, the age of the appliance could not be confirmed during this inspection.

Clothes Dryer

DRYER MANUFACTURED DATE NOT DETERMINED

The manufactured date of the clothes dryer could not be determined. The data plate or serial label was not visible, was obscured, or was no longer legible. As a result, the age of the appliance could not be confirmed during this inspection.

Clothes Dryer

LIMITATION CLOTHES DRYER EXHAUST DUCT

The interior of the clothes dryer exhaust duct could not be fully inspected. This was a limited visual inspection and does not determine internal condition or cleanliness. Exhaust ducts should be professionally cleaned at least annually to reduce the risk of fire. Cleaning of the duct prior to regular use is recommended.

Recommendations

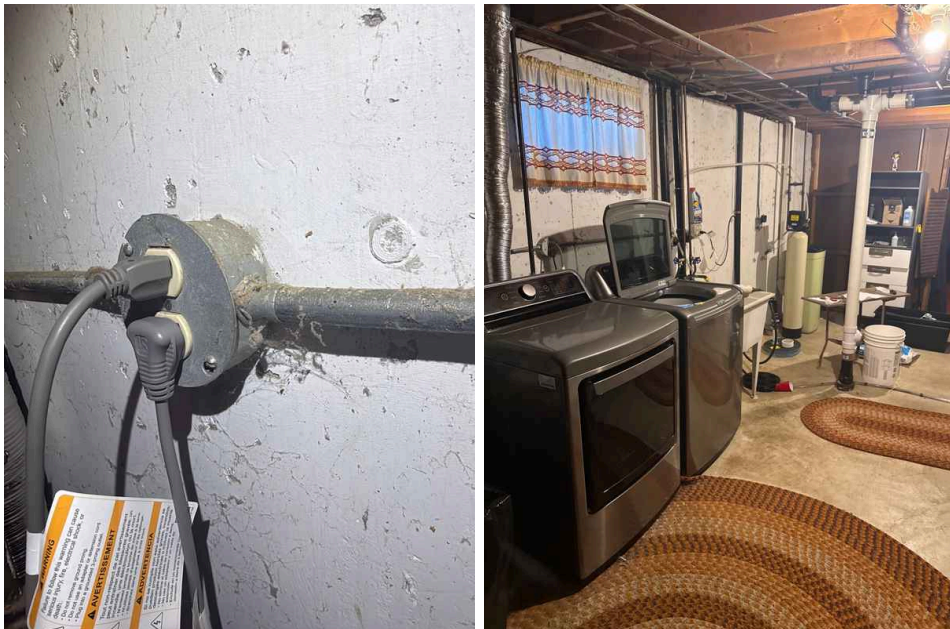
16.1.1 Laundry Room, Electrical, and Utility Sink

**MISSING GFCI PROTECTION - LAUNDRY ROOM**

GFCI protection was missing at the receptacles in the laundry room. Current electrical standards (NEC 210.8(A)(10) & 210.12(A), 2014 edition) require all 120-volt, 15- and 20-amp laundry room receptacles to be both GFCI- and AFCI-protected. Installation of compliant GFCI/AFCI protection by a qualified electrician is recommended to reduce the risk of electrical shock and fire.

Recommendation

Contact a qualified electrical contractor.



17: BASEMENT / CRAWLSPACE / STRUCTURE

		IN	NI	NP	R
17.1	Foundation	X			
17.2	Visible Structural Components	X			
17.3	Moisture / Water Intrusion	X			
17.4	Sump Pump	X			
17.5	Basement Electrical / GFCI Protection	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Basement / Crawlspace / Structure Overview

The basement, crawlspace, and visible structural components were inspected where accessible. Inspection included observation of the foundation, floor structure, wall structure, support components, and visible conditions at the time of inspection.

Foundation: Type of Foundation Described

Basement, Concrete

The foundation type and construction materials were identified to the extent possible. Some homes may have multiple foundation types due to renovations, additions, or modifications.

Foundation: Foundation Was Inspected

The foundation was inspected according to the [Home Inspection Standards of Practice](#).

Visible Structural Components: Structural Components Were Inspected

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.

Moisture / Water Intrusion: Moisture / Water Intrusion Indicators Inspected

Visible basement or crawlspace areas were inspected for moisture staining, dampness, efflorescence, and other visible indicators of water intrusion.

Sump Pump: Sump Pump Inspected

A sump pump was observed in the basement or crawlspace area.

Failure to routinely test or maintain a sump pump, especially one that is rarely used, can result in significant water intrusion during heavy rainfall, snow melt, or flooding events. Overuse or overload due to poor drainage around the property may also lead to pump failure.

The absence of a backup sump pump increases the risk of water damage and property loss if the primary pump fails. Regular maintenance and monitoring are recommended, particularly in areas with high groundwater or where the sump pump is critical to maintaining a dry basement.

Sump Pump: Sump Pump Activated

The sump pump was activated during inspection and was observed to operate.

Sump pumps should not recycle water back toward the building. When used to maintain a dry interior, discharge should flow away from the structure to prevent contributing to subsurface water accumulation that the sump pump is designed to control.

Basement Electrical / GFCI Protection: Basement Electrical / GFCI Protection Inspected

Accessible basement receptacles, visible electrical components, and GFCI protection were inspected where present. Inspection was limited to visible and readily accessible components.

Limitations

Basement / Crawlspace / Structure Overview

PERSONAL STORAGE RESTRICTION

Personal storage restricted the visual inspection of the basement. The Standards of Practice do not require the movement of personal belongings. As a result, some areas and components could not be fully observed or evaluated.

Basement / Crawlspace / Structure Overview

BASEMENT FINISHED

The basement was finished. This condition limited the inspection, as the finished floors, walls, and ceilings restricted visibility of the basement structure, systems, and components.

Moisture / Water Intrusion

LIMITED VISIBILITY OF MOISTURE CONDITIONS

Evaluation for moisture conditions was limited by finished surfaces, stored items, floor coverings, wall coverings, or other obstructions. Concealed areas were not fully visible at the time of inspection.

Sump Pump

SUMP PUMP LID SEALED SHUT

The sump pump lid was sealed shut, preventing a full visual inspection of the sump pump basin and components. Typically with radon mitigation systems, this is fairly standard. This condition is considered an inspection limitation.

Recommendations

17.1.1 Foundation

**FOUNDATION CRACK - MINOR**

A hairline crack was observed at the foundation. No major displacement or signs of significant movement were noted at the time of inspection. Monitoring is recommended to identify any changes over time.

Recommendation

Recommend monitoring.



18: PLUMBING

		IN	NI	NP	R
18.1	Water Heater	X			
18.2	Water Supply Piping and Distribution	X			X
18.3	Drain, Waste, & Vent Systems	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Location of Main Water Shut-Off Valve

Basement



Water Supply - Private or Public

Public

The water supply source was identified based on observed conditions at the time of inspection. To confirm the source with certainty, verification with the homeowner or local utility provider is recommended.

Plumbing System Information

The plumbing system components were inspected where visible and readily accessible. This included visible water supply piping, drain, waste, and vent systems, and the water heater where present. Fixtures and components were operated using normal operating controls where accessible.

Water Heater: Type of Hot Water Source

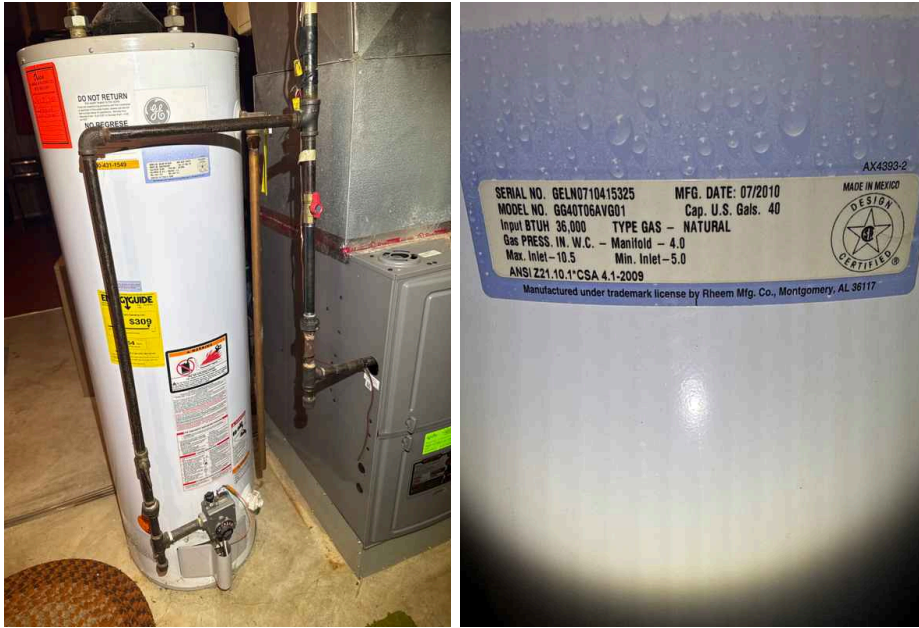
Gas-Fired Tank Water Heater (Natural Gas / Propane)

The primary source of hot water to the plumbing fixtures was inspected. Water heating systems may include electric or gas-fired tank units, indirect heaters connected to boilers, tankless systems, heat pump water heaters, solar systems, or geothermal equipment. Verification of the system type, age, and past performance should be obtained from the homeowner. Regular maintenance is recommended to ensure safe and reliable operation.

Water Heater: Manufacturer

GE

The manufacturer of the water heater was identified. Annual flushing and servicing of the tank are recommended to maintain optimal performance and extend service life. **Water temperature should be set to at least 120°F to reduce the risk of microbial growth and no higher than 130°F to minimize the risk of scalding.**



Water Heater: Manufactured Date

2012

Service Life Expectancy

The manufacture date of the water heater was identified. The typical service life of a conventional tank-style water heater is approximately 6 to 12 years. Systems beyond this age may experience reduced efficiency, increased repair needs, and higher risk of failure. Regular maintenance and servicing are recommended to help extend service life. For more information, see [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#).

Water Heater: Capacity

40 gallons

Water Heater: Water Heater Inspected

The hot water source and associated equipment were inspected in accordance with the Home Inspection Standards of Practice. The inspection was limited to visible and accessible components observed at the time of inspection.

Water Heater: Venting Connections Inspected

The venting connections for the water heating system were inspected. The inspection was limited to visible and accessible components observed at the time of inspection.

Water Heater: Temperature and Pressure Relief (TPR) Valve Inspected

The temperature and pressure relief (TPR) valve was inspected. The inspection was limited to visible and accessible components observed at the time of inspection.

Water Supply Piping and Distribution: Water Supply Piping and Distribution Inspected

The water supply and distribution piping was inspected where accessible. Portions of the system were not visible due to obstructions or finished surfaces, which limited the inspection. Verification of past performance, including any history of supply problems or leaks, should be obtained from the homeowner.

Drain, Waste, & Vent Systems: Drain, Waste, Vent Pipes Inspected

The drain, waste, and vent (DWV) piping was inspected where accessible. Portions of the system were not visible due to finished surfaces or other obstructions, which limited the inspection. Confirmation of past performance, including any history of leaks or blockages, should be obtained from the homeowner.



Limitations

Water Heater

INSPECTION RESTRICTION

The inspection of the water heating system was restricted, and the system could not be fully evaluated. The condition of components not visible or accessible at the time of inspection is unknown.

Water Supply Piping and Distribution

NOT ALL PIPES WERE INSPECTED

The inspection of the water supply piping was restricted because not all pipes were exposed or readily accessible. Many distribution pipes, valves, and connections are typically concealed within walls, ceilings, or floors and could not be evaluated. The condition of hidden piping is unknown.

Drain, Waste, & Vent Systems

NOT ALL PIPES WERE INSPECTED

The inspection of the drain, waste, and vent (DWV) pipes was restricted because not all piping was exposed or readily accessible. Many drainage components are typically concealed within walls, ceilings, or floors and could not be evaluated. The condition of hidden piping is unknown.

Recommendations

18.2.1 Water Supply Piping and Distribution

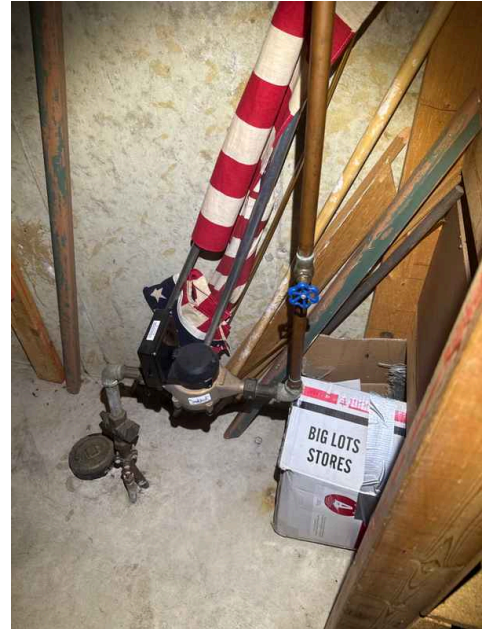
MISSING BONDING JUMPER Defect

A bonding jumper cable was not observed at the water meter.

Bonding jumpers are required to ensure continuous grounding of the electrical system. A missing bonding jumper presents a safety hazard. Installation by a qualified electrician is recommended.

Recommendation

Contact a qualified electrical contractor.



19: ELECTRICAL

		IN	NI	NP	R
19.1	Service-Entrance Conductors	X			
19.2	Main Service Disconnect	X			
19.3	Panelboards and Breakers	X			X
19.4	Branch Wiring	X			
19.5	Grounding and Bonding	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

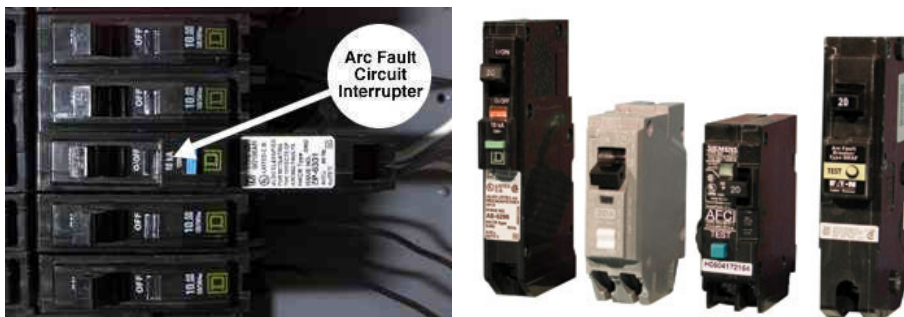
Information

Electrical System Information

The electrical system components were inspected where visible and readily accessible. This included the service equipment, panels, visible wiring, and grounding components. Inspection was limited to visible conditions and normal operating controls.

AFCI Information

An Arc Fault Circuit Interrupter (AFCI) is designed to protect against electrical fires by detecting arcing conditions in wiring and shutting off power to the circuit. AFCI breakers are a relatively recent safety requirement in new construction homes, and many older homes do not have this protection. While a home inspection is not a code compliance inspection, it is important to note that codes and standards evolve for safety reasons. The absence of AFCI protection in a home should be considered a safety concern, and installation of AFCI protection by a licensed electrician is recommended where missing.



GFCI Information

A Ground Fault Circuit Interrupter (GFCI) is designed to protect against electrical shock by shutting off power when a ground fault is detected. GFCI protection became a requirement in certain areas beginning in the 1970s, and many older homes may not have this safety feature installed. While a home inspection is not a code compliance inspection, it is important to note that safety standards evolve over time. The absence of GFCI protection in required areas is considered a safety concern. Installation of GFCI protection by a licensed electrician is recommended where missing.

Service-Entrance Conductors: Service-Entrance Conductors Inspected

The electrical service-entrance conductors were inspected where visible and accessible. The inspection was limited to observable conditions at the time of inspection.

Main Service Disconnect: Main Service Disconnect Inspected

The electrical main service disconnect was inspected where visible and accessible. The inspection was limited to observable conditions at the time of inspection.



Main Service Disconnect: Main Disconnect Rating, If Labeled

100

The amperage rating of the main service disconnect was observed as labeled. This information is based on the manufacturer's labeling visible at the time of inspection.

Panelboards and Breakers: Main Panelboard and Breakers Inspected

The electrical panelboards and breakers were inspected where accessible. Inspection included visible components, overcurrent protection devices, and evaluation of AFCI and GFCI protection where present.



Branch Wiring: Branch Wiring Inspected

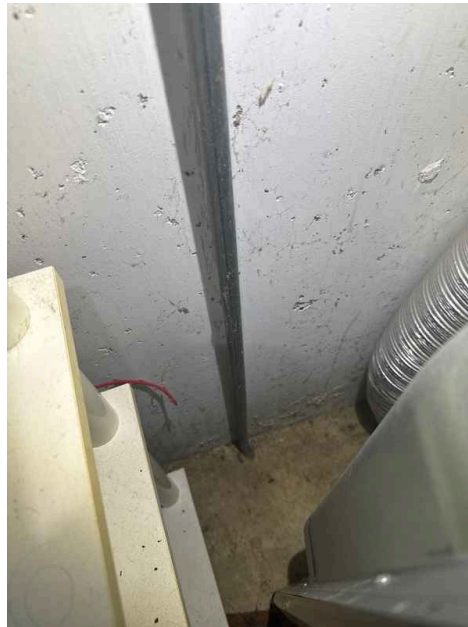
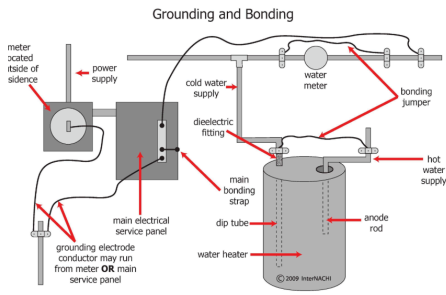
Visible branch wiring was inspected where accessible. Inspection was limited to visible wiring and readily accessible components at the time of inspection.

Branch Wiring: Type of Wiring, If Visible

NM-B (Romex)

Grounding and Bonding: Service Grounding and Bonding Inspected

The electrical service grounding and bonding were inspected where visible and accessible. The inspection was limited to observable conditions at the time of inspection. Proper grounding and bonding are important for electrical safety, as they help reduce shock hazards and allow the system to safely carry fault currents.



Limitations

Panelboards and Breakers

GFCI SYSTEM NOT FULLY INSPECTED

The GFCI system could not be fully inspected, and compliance with modern code requirements could not be confirmed. Verification of proper installation requires specialized testing that is beyond the scope of a visual home inspection. The system was inspected to the extent possible in accordance with the Home Inspection Standards of Practice. Evaluation by a licensed electrician or local code official is recommended if confirmation is desired.

Panelboards and Breakers

UNABLE TO INSPECT EVERYTHING

The AFCI system could not be fully inspected, and compliance with modern code requirements could not be confirmed. Verification of proper installation requires specialized testing that is beyond the scope of a visual home inspection. The system was inspected to the extent possible in accordance with the Home Inspection Standards of Practice. Evaluation by a licensed electrician or local code official is recommended if confirmation is desired.

Branch Wiring

ELECTRICAL WIRING NOT FULLY INSPECTED

The electrical wiring could not be fully inspected, as most wiring is concealed within walls, ceilings, and floors. Hidden wiring is beyond the scope of a visual home inspection, and its condition could not be determined.

Grounding and Bonding

UNABLE TO CONFIRM PROPER GROUNDING AND BONDING

The proper installation of the electrical system grounding and bonding, as required by modern standards, could not be confirmed during the inspection. Verification of grounding and bonding requires specialized testing that is beyond the scope of a visual home inspection. The grounding and bonding were inspected to the extent possible in accordance with the Home Inspection Standards of Practice. Evaluation by a licensed electrician or local code official is recommended if confirmation is desired.

Recommendations

19.3.1 Panelboards and Breakers

**MISSING AFCI PROTECTION AT INTERIOR ROOM**

AFCI protection was observed to be missing for receptacles in an interior room of the home. AFCIs help reduce the risk of electrical fires by detecting arcing conditions in wiring and connected devices. Installation of AFCI protection by a licensed electrician is recommended.

Recommendation

Contact a qualified electrical contractor.

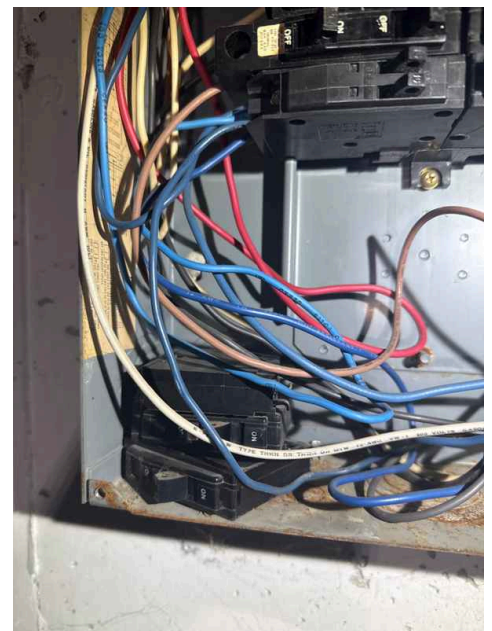
19.3.2 Panelboards and Breakers

**FOREIGN OBJECT / CONTAMINATION INSIDE PANEL**

Foreign objects or contamination were observed inside the electrical panel. Debris or contaminants can interfere with breaker operation, damage components, or increase the risk of arcing. Cleaning and evaluation by a licensed electrician are recommended.

Recommendation

Contact a qualified electrical contractor.



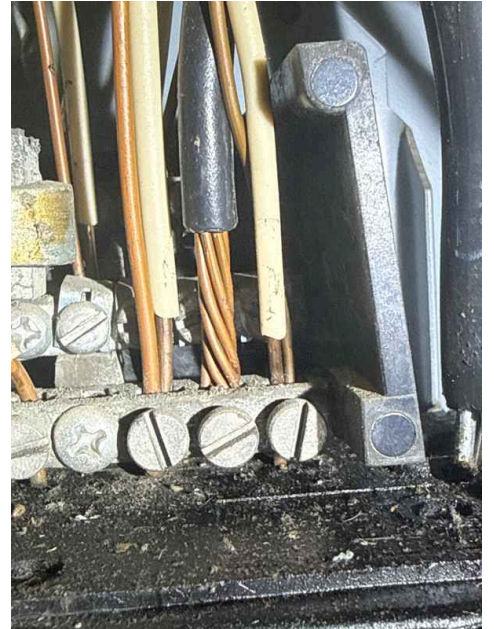
19.3.3 Panelboards and Breakers

**DOUBLE-LUGGED NEUTRAL WIRES**

Neutral wires were observed doubled under the same lug in the electrical panel. Each neutral wire should terminate under its own lug to ensure a secure and reliable connection. Double-lugged neutrals can loosen over time, leading to arcing or overheating. Correction by a licensed electrician is recommended.

Recommendation

Contact a qualified electrical contractor.



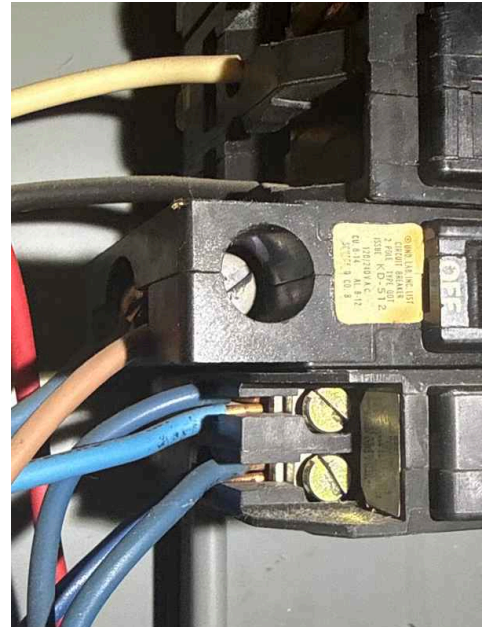
19.3.4 Panelboards and Breakers

**DOUBLE-TAPPED HOT CONDUCTORS**

Two hot conductor wires were observed connected to a single breaker, a condition commonly referred to as a "double tap." Standard breakers are designed for only one conductor, and double-tapping can result in loose connections, overheating, or arcing. Correction by a licensed electrician is recommended.

Recommendation

Contact a qualified electrical contractor.



20: HEATING AND THERMOSTAT

		IN	NI	NP	R
20.1	Thermostat	X			
20.2	Heating Equipment	X			
20.3	Distribution System	X			
20.4	Venting / Flue	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Heating System Information

The type of heating system, energy source, and general system information were documented where visible and identifiable at the time of inspection.

Heating Method

Warm-Air Heating System

Energy Source

Gas

Manufacturer

Rheem



Manufactured Date

2020

Service Life Expectancy

According to InterNACHI, the typical service life of a furnace is approximately **15 to 25 years**. Systems beyond this age may experience reduced efficiency, increased repair needs, and higher risk of failure. Regular maintenance is recommended to prolong service life. For more information, see: [InterNACHI's Standard Estimated Life Expectancy Chart for Homes](#)

Filter Size

20x20x1

Air filters should generally be checked every 1–3 months and replaced as needed. Regular replacement helps maintain system efficiency, indoor air quality, and prolongs the life of the heating system.



Thermostat: Thermostat Location

First floor



Thermostat: Thermostat Inspected

The thermostat was inspected and operated using normal controls where accessible. The thermostat location and general response to operation were observed.

Heating Equipment: Heating Equipment Inspected

The heating equipment was inspected where visible and accessible. The system was operated using normal operating controls, and accessible components such as the cabinet, burners, heat exchanger area (where visible), and filter were observed. The inspection included a general evaluation of system condition and performance at the time of inspection. This is not a comprehensive or invasive evaluation, and internal or concealed components were not fully inspected.

Limitations

Distribution System

DISTRIBUTION SYSTEM LIMITATIONS

Inspection of the distribution system was limited to visible and readily accessible components. Ductwork or piping concealed within walls, ceilings, or floors, and areas obstructed by finishes, insulation, or stored items were not fully evaluated.

Venting / Flue

VENTING AND FLUE LIMITATIONS

Inspection of venting and flue components was limited to visible and readily accessible areas. Concealed portions of venting systems, interior chimney flues, and areas not readily accessible were not fully evaluated.

21: COOLING / CONDENSATE

		IN	NI	NP	R
21.1	Cooling Equipment (Evaporator Coil)	X			
21.2	Condensate Drainage	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Cooling Equipment (Evaporator Coil): Evaporator Coil Observed

The indoor cooling equipment, including the evaporator coil, was observed where visible and accessible. Inspection was limited to a visual observation of the exterior of the component.

Condensate Drainage: Condensate Drainage Inspected

Visible cooling system condensate drainage components were inspected where accessible.



Limitations

Cooling Equipment (Evaporator Coil)

EVAPORATOR COIL NOT FULLY VISIBLE

The evaporator coil is typically enclosed within the plenum or air handler and was not fully visible at the time of inspection.

22: ATTIC / INSULATION / VENTILATION

		IN	NI	NP	R
22.1	Attic Structure	X			
22.2	Attic Insulation	X			
22.3	Attic Ventilation	X			
22.4	Mechanical Exhaust Ducts	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Attic Inspection Information

The attic area was inspected where accessible. Visible attic components were reviewed, including roof framing, roof sheathing, insulation, ventilation, and visible mechanical exhaust components where present.

Attic Structure: Structural Components Inspected from Attic

The structural components visible in the attic were inspected in accordance with the [Home Inspection Standards of Practice](#). Attic inspections can provide valuable information about the condition of roof framing, ventilation, insulation, and potential moisture intrusion. However, many areas are concealed by insulation or finishes and cannot be fully evaluated during a visual inspection. Regular monitoring of the attic is recommended to help identify leaks, structural concerns, or insulation deficiencies early.

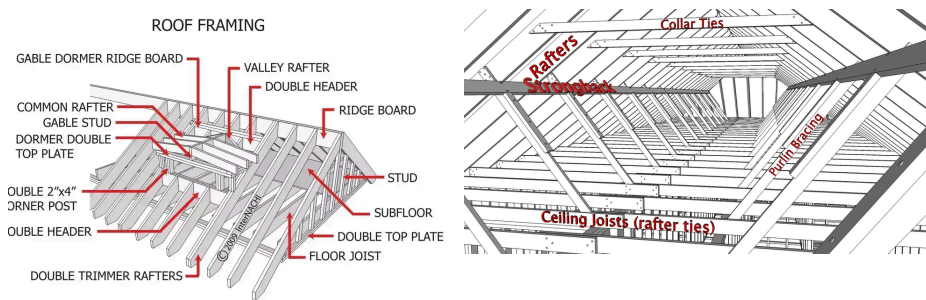


Attic Structure: Roof Structure Inspected

Roof

The general structure of the roof was inspected from accessible panels, doors, or stairs. This was not an exhaustive or engineering-level evaluation.

Observations focused on visible inconsistencies or defects. Any noted concerns should be evaluated by a licensed structural engineer.



Attic Insulation: Type of Insulation Observed

Fiberglass, Cellulose

An attempt was made to identify the type of insulation used in the home based on what was visible and accessible at the time of inspection. Insulation materials can vary in appearance, and in some cases, the exact type cannot be confirmed without invasive methods. Proper installation and adequate coverage are important for maintaining energy efficiency and comfort. Hidden or concealed insulation could not be evaluated.

Attic Insulation: Approximate Average Depth of Insulation

Attic

3–6 inches (below current standards)

The approximate average depth of insulation in the attic was observed. The recommended insulation levels vary by climate zone and local building codes. This property is located in Climate Zone 5 (Illinois), where the U.S. Department of Energy recommends attic insulation levels of R-49 to R-60, which typically equates to approximately 16 to 20 inches of fiberglass or cellulose insulation.

Attic Insulation: Insulation in Attic Inspected

The insulation in the attic was inspected, along with unfinished areas such as crawlspaces and foundation spaces. Ventilation of unfinished spaces and the operation of mechanical exhaust systems in the kitchen, bathrooms, and laundry areas were also inspected. Where visible, the type of insulation and the approximate average depth at the attic floor or roof structure were noted. The general absence of insulation or inadequate ventilation in unfinished areas is reported as a condition in need of correction. Proper insulation and ventilation are important for energy efficiency, comfort, and reducing the risk of moisture-related problems.



Attic Ventilation: Attic Ventilation Inspected

Ventilation in unfinished spaces, including the attic, crawlspaces, and foundation areas, was inspected. Conditions were reported as in need of correction when general absence of ventilation in unfinished spaces was observed.

Mechanical Exhaust Ducts: Mechanical Exhaust Ducts Inspected

Mechanical exhaust systems, including those serving the kitchen, bathrooms, and laundry areas, were inspected where visible and accessible. The inspection was limited to readily observable components and did not include performance testing of airflow volume. Conditions were reported as in need of correction when exhaust systems were found to be inoperable, improperly vented, or otherwise deficient.

Limitations

Attic Information

ATTIC INSPECTION LIMITATIONS

Inspection of the attic was limited to visible and readily accessible areas. Access may have been restricted by limited clearance, insulation depth, stored items, or safety concerns. Concealed areas and areas not readily accessible were not fully evaluated.

Attic Structure

ATTIC INSPECTION RESTRICTED

The attic space could not be fully inspected due to restricted access and limited visibility. Insulation, framing, and other obstructions concealed portions of the attic, preventing a complete evaluation. The inspection was limited to visible and accessible areas only.

Attic Ventilation

LIMITATION - VENTILATION EVALUATION

The evaluation of attic ventilation was limited to a general visual inspection. The exact amount of airflow required for this attic space was not calculated. Only readily visible conditions such as general lack of ventilation, high humidity, damp wood, or construction practices inconsistent with common standards were reviewed. Concealed or inaccessible areas could not be evaluated.

Recommendations

22.2.1 Attic Insulation

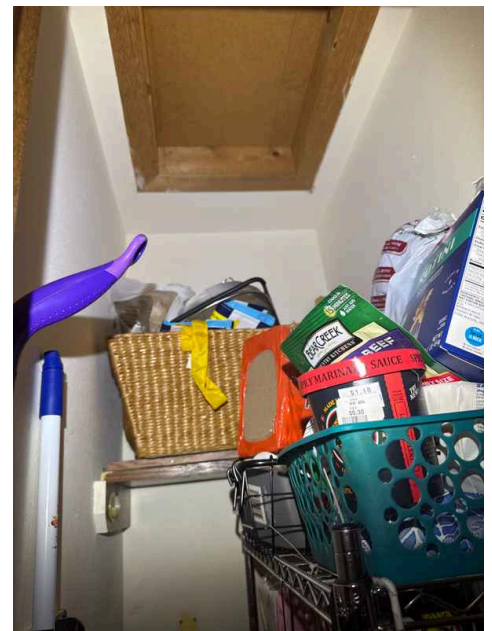
ATTIC ACCESS LACKS INSULATION AND AIR SEAL

The attic access hatch was not insulated or properly air sealed.

This condition creates an area of energy loss and reduces overall efficiency of the home. Installation of insulation and proper air sealing at the attic access is recommended to improve energy performance.

Recommendation

Recommended DIY Project



22.2.2 Attic Insulation

 Minor Defect

ADDITIONAL INSULATION RECOMMENDED

Areas of the attic were observed with insulation levels below current recommended standards.

Insufficient insulation reduces energy efficiency and can increase heating and cooling costs. Air sealing and installation of additional insulation in deficient areas is recommended to improve overall performance.

Recommendation

Contact a qualified insulation contractor.



23: D.A. INSPECTIONS - HOMEOWNER INFORMATION

Information

D.A. Inspections - Homeowner Maintenance Guidance

This inspection is a snapshot of the home's visible condition at the time of inspection. Ongoing maintenance, monitoring, and timely repairs by the homeowner are important to help protect the property and extend the service life of home components.

Typical homeowner maintenance includes replacing HVAC filters regularly, monitoring for water leaks or moisture, maintaining proper exterior grading and drainage, cleaning gutters and downspouts, testing smoke and carbon monoxide alarms, and addressing small repairs before they become larger concerns.

Additional maintenance information, checklists, and resources may be provided in the client portal for reference.